

JVB ARCHITECT, LLC

ARCHITECTURE ■ PLANNING ■ INTERIORS

RFP 13-19 Falkenburg Road Jail Building #14 and Housing Unit #2 Partial Roof Replacement Amendment #1

PROJECT NAME: HILLSBOROUGH COUNTY SHERIFF'S OFFICE
ROOF RENOVATION
520 N. Falkenburg Road
Tampa, FL 33619

DATE: 7-8-2019

JVB

To: ALL PROPOSERS

ARCHITECTURAL REVISIONS:

Clarifications: The following updated drawings dated 7-8-2019 have been modified as follows below to provide clarifications on questions/concerns brought to our attention at the Pre-Bid meeting.

A-002 EXISTING/DEMO ROOF PLAN BUILDING 14:

1. Existing roof insulation thickness has been added to Existing/Demo Roof Plan (North)
Existing roof insulation thickness has been added to Existing/Demo Roof Plan (South)
2. Note #11 of the "Demolition General Notes", added "Owner to provide letter of recertification for lighting protection system as required".
3. Note #3 of the "Keynote Legend", added "Uninstall and reinstall at same locations, as needed".
4. Note #7 of the "Keynote Legend", replaced "Remove existing flashing" with "Provide new skirt flashing around existing curb flashing".

A-003 EXISTING/DEMO ROOF PLAN BUILDING 2:

1. Existing roof insulation thickness has been added to Existing/Demo Roof Plan (West)
Existing roof insulation thickness has been added to Existing/Demo Roof Plan (East)
Existing roof insulation thickness has been added to Existing/Demo Roof (Cueing Area)
2. Note #11 of the "Demolition General Notes", added "Owner to provide letter of recertification for lighting protection system as required".
3. Note #3 of the "Keynote Legend", added "Uninstall and reinstall at same locations, as needed".

A-101 ROOF PLAN BUILDING 14:

1. Note #14 of the "Keynote Legend", updated to the following: "New Cricket Area to be achieved with tapered insulation, typ. Maintain a minimum of 8" height at existing parapet. If unable to maintain 8" minimum height after cricketing, wrap roofing membrane over existing parapet and provide roof drip edge.
2. Tags have been added throughout the floor plans pointing to various roof details to identify different typical roof conditions.
3. Angled parapet locations have been identified.
4. Sloping directions of existing metal roofs have been identified.

A-102 ROOF PLAN BUILDING 2:

1. Tags have been added throughout the floor plans pointing to various roof details to identify different typical roof conditions.
2. Angled parapet locations have been identified.
3. Sloping directions of existing metal roofs have been identified.

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Tampa, Florida 33619

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PROJECT TEAM:

ARCHITECT:
JVB ARCHITECT, LLC
1719 N. HOWARD AVENUE SUITE 201
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FAX..... 813-258-3236
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CONTACT..... NELSON ITURBIDES

ENERGY CONSERVATION

CH 4 - COMMERCIAL ENERGY EFFICIENCY
CLIMATE ZONE 2 (HILLSBOROUGH COUNTY)

BUILDING ENVELOPE SYSTEM

COMPONENT	VALUE
ROOF R-VALUE	R-25
WALL R-VALUE (MASONRY)	R-5.1

PROJECT SCOPE:

THE PROJECT IS LIMITED TO NEW ROOF INSTALLATION. THE EXISTING BUILDING OCCUPANCY CLASSIFICATION, FIRE PROTECTION ELEMENTS, MEANS OF EGRESS, ACCESSIBILITY FEATURES AND SPATIAL LAYOUT WILL REMAIN. NO LIFE SAFETY FEATURES WILL BE DIMINISHED. THE PROJECT SCOPE ELEMENTS ARE GENERALLY DESCRIBED AS FOLLOWS:

1. INSTALLATION OF A NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.

2. REMOVAL AND REPLACEMENT OF THE ROOFING MEMBRANE SYSTEM, ALONG WITH THE INSULATION, AT PORTION OF ROOF ON GUTTER SIDE OF WEST BUILDING 2.

3. REMOVAL AND REPLACEMENT OF THE FLASHING.

4. REMOVAL AND REINSTALLATION OF ROOFTOP MECHANICAL SYSTEMS AND EQUIPMENT AS REQUIRED FOR NEW ROOF MEMBRANE INSTALLATION.

5. REMOVAL OF SIX UNUSED ROOF STANDS ON BUILDING 14, SOUTH ROOFING.

BUILDING INFO

BUILDING TYPE: II-B
FIRE PROTECTION: BUILDING IS FULLY SPRINKLERED
OCCUPANCY TYPE: INSTITUTIONAL (I-3)
ROOF AREAS:
ROOF BUILDING 2
WEST - 2,395 SF (VIF)
EAST - 2,400 SF (VIF)
ROOF BUILDING 14
NORTH - 1,895 SF (VIF)
SOUTH - 3,470 SF (VIF)

CODES - STATE OF FLORIDA

FBC - FLORIDA BUILDING CODES 6TH EDITION (2017):
BUILDING CODE
EXISTING BUILDING CODE
MECHANICAL CODE
PLUMBING CODE
NEC - NATIONAL ELECTRIC CODE 2014 EDITION

SHEET INDEX

REV No.	SHEET No.	
		ARCHITECTURAL
A-001		TITLE SHEET, CODE INFORMATION & APPROVALS
A-002		EXISTING ROOF PLAN BUILDING 14
A-003		EXISTING ROOF PLAN BUILDING 2
A-101		ROOF PLAN BUILDING 14
A-102		ROOF PLAN BUILDING 2
A-103		ROOF PHOTOS NORTH OF BUILDING 14
A-104		ROOF PHOTOS SOUTH OF BUILDING 14
A-105		ROOF PHOTOS SOUTH OF BUILDING 14
A-106		ROOF PHOTOS WEST OF BUILDING 2
A-107		ROOF PHOTOS EAST OF BUILDING 2
A-108		TYPICAL ROOF DETAILS
A-109		TYPICAL ROOF DETAILS

WIND CHART

The information below was calculated using the provisions of the 2017 Florida Building Code.

Floor and Roof Live Loads			
Floor Live Loads.....			
Cell Blocks:	40 psf		
Corridors:	100 psf		
Roof Live Loads.....			
Roofs:	20 psf uniform; 300 lbs concentrated		

Wind Design Data			
Ultimate Wind Speed:	140 mph	Nominal Wind Speed:	108 mph
Risk Category:	II	Wind Exposure:	B
Enclosure Classification:	Enclosed	End Zone Width:	4.10 ft.
Internal Pressure Coefficient:	0.18 +/-		

Components and Cladding Design Pressures	Roof Zone 1:	+16.0 psf max.,	-35.3 psf min.
	Roof Zone 2:	+16.0 psf max.,	-59.2 psf min.
	Roof Zone 3:	+16.0 psf max.,	-89.0 psf min.
	Roof at Zone 2 Overhangs:		-50.8 psf min.
	Roof at Zone 3 Overhangs:		-83.7 psf min.
	Wall Zone 4:	+35.3 psf max.,	-38.2 psf min.
	Wall Zone 5:	+35.3 psf max.,	-47.2 psf min.

The Ultimate Wind Speed was used to determine the above Component and Cladding Design Pressures.
All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.
The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

Geotechnical Information	
Design Soil Load-Bearing Capacity:	2,000 psf

Flood Design Data	
Flood Zone:	X

VICINITY MAP

SITE LOCATION, N.T.S.

AREAS OF WORK

PRODUCT APPROVAL INFORMATION:

PRODUCT CATEGORY	MANUFACTURER	APPROVAL NO.	BUILDING CODE (FBC)
ROOFING, TPO	GAF	FL5293-R33 5293.1	2017 6th ED.

HILLSBOROUGH COUNTY
SHERIFF'S OFFICE
ROOF RENOVATION
520 N Falkenburg Road
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Joseph V. Belluccia, AIA

FL REG AR92396

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

JOB NO : 19017
DRAWN BY : CW
ISSUE DATE :
SHEET TITLE:
TITLE SHEET, CODE INFORMATION & APPROVALS
SHEET NUMBER
A-001

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1	FINAL OWNER REVIEW SET	7-8-2019
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DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:
EXISTING/DEMO ROOF
PLAN BUILDING 14

SHEET NUMBER
A-002

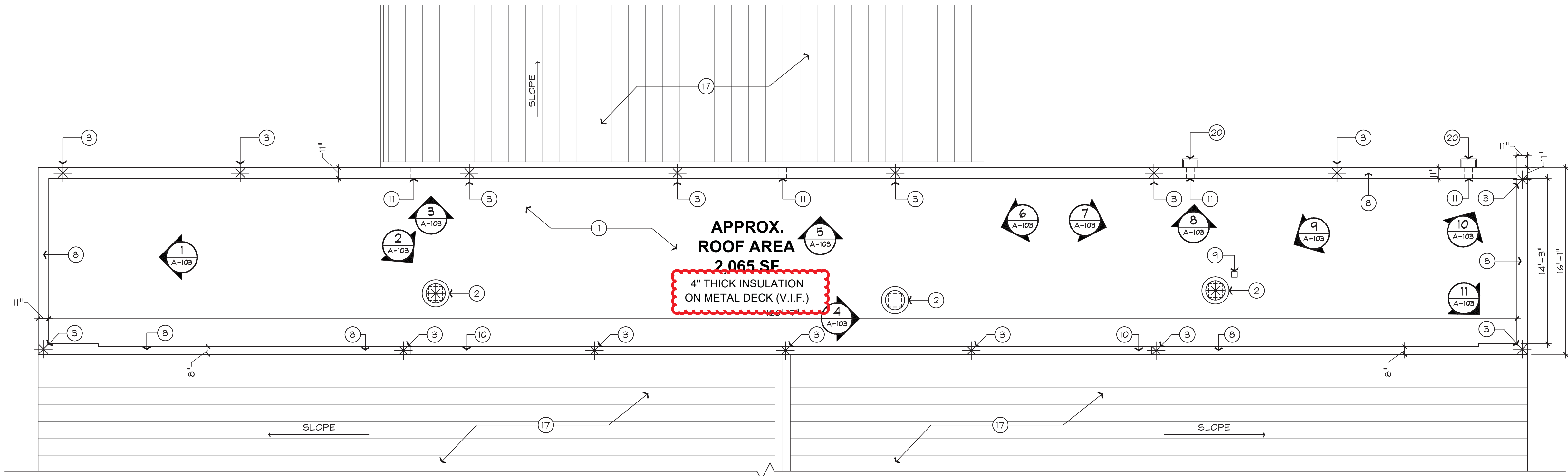
DEMOLITION GENERAL NOTES

- IF DEMOLITION COMMENCES PRIOR TO PERMIT, GC SHALL OBTAIN DEMO PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
- FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION AREA. KEEP AREA CLEAN.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED ENTIRELY FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO WASTE AREA PROVIDED BY THE CONTRACTOR.
- CLEAN ENTIRE SPACE, EVEN IF NOT PART OF CONSTRUCTION WORK
- DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH LANDLORD & BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
- CONTRACTOR TO COORDINATE LOCATION OF DUMP SITE & ALL DEMO WORK WITH LANDLORD.
- CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MECHANICAL EQUIPMENT AND RELATED CONDUITS, AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NEEDED TO PERFORM REPLACEMENT OF ROOF MEMBRANE SYSTEM. OWNER TO PROVIDE LETTER OF RECERTIFICATION FOR LIGHTING PROTECTION SYSTEM AS REQUIRED. TYPICAL ALL ROOFS
- ANY CURB UNDER 8" HIGH TO BE RAISED MINIMUM 8" HIGH ABOVE ROOF SURFACE.
- AREAS OF SUBSTANTIAL DECK DEFLECTION OR MEMBRANE IMPERFECTIONS SHALL BE CORRECTED PRIOR TO INSTALLING ANY NEW ROOFING. FIELD VERIFY CONDITIONS.

KEYNOTE LEGEND

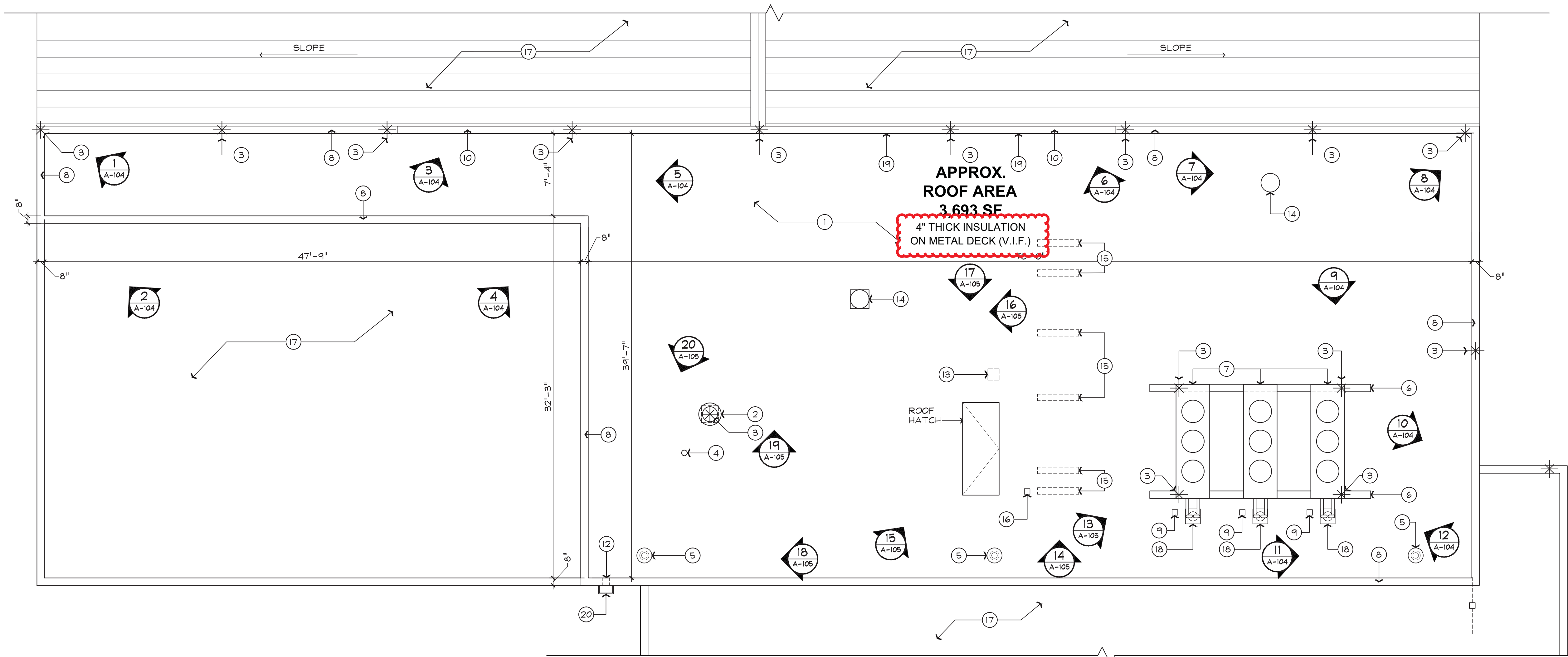
- PREPARE EXISTING ROOF PER MANUFACTURER'S INSTRUCTIONS TO RECEIVE NEW COVER BOARD AND MEMBRANE SYSTEM.
- EXISTING ROOF EXHAUST FAN TO REMAIN. REMOVE EXISTING FLASHING.
- LIGHTING PROTECTION RODS AND CONNECTIONS TO REMAIN. UNINSTALL AND REINSTALL AT SAME LOCATIONS, AS NEEDED. TYPICAL AT ALL ROOFS
- EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. FLASHING TO BE REMOVED.
- EXISTING ROOF DRAIN TO REMAIN.
- EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. REMOVE EXISTING FLASHING, TYP.
- EXISTING MECHANICAL EQUIPMENT SUPPORT TO REMAIN. PROVIDE NEW SKIRT FLASHING AROUND EXISTING CURB FLASHING.
- EXISTING PARAPET METAL COPING TO BE REMOVED.
- EXISTING CONDUIT PENETRATION IN PITCH PAN TO REMAIN. REMOVE PITCH PAN AND FLASHING. ALL PITCH POCKET TO BE REPLACED U.N.O.
- EXISTING COPING TO REMAIN. REMOVE/REINSTALL AS NEEDED TO INSTALL NEW ROOF FLASHING.
- EXISTING SCUPPER TO REMAIN. REMOVE FLASHING.
- EXISTING INACTIVE (BLOCKED) SCUPPER. REMOVE ROOFING TO MAKE IT ACTIVE.
- REMOVE EXISTING CAPPED ROOF OPENING. PATCH AND REPAIR ROOF.
- EXISTING ROOF VENT TO REMAIN. REMOVE FLASHING.
- 20" HIGH UNUSED RTU CURBS TO BE REMOVED. PATCH AND REPAIR ROOF.
- EXISTING PITCH PAN WITH CONDUIT CAPPED TO REMAIN.
- EXISTING STANDING METAL ROOF TO REMAIN. REMOVE FLASHING.
- REFRIGERANT LINES ON STAND TO REMAIN. REMOVE FLASHING.
- PCV PIPING ON WALL FOR COAXIAL LINES TO BE REMOVED. COAXIAL LINES TO REMAIN.
- EXISTING COLLECTOR BOX AND DOWNSPOUT TO REMAIN

NOT FOR CONSTRUCTION



1 EXISTING/DEMO ROOF PLAN (NORTH) - BASE BID

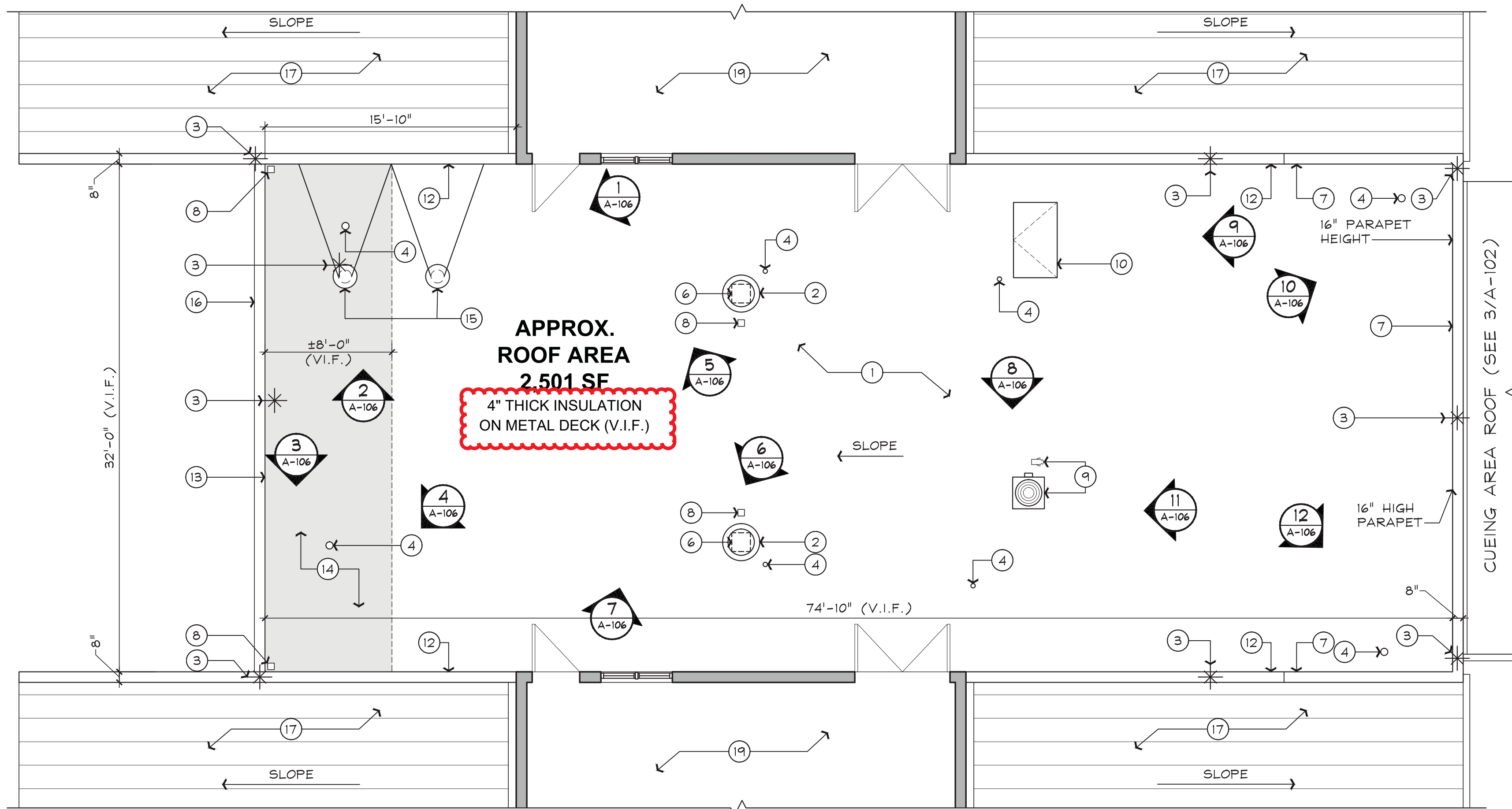
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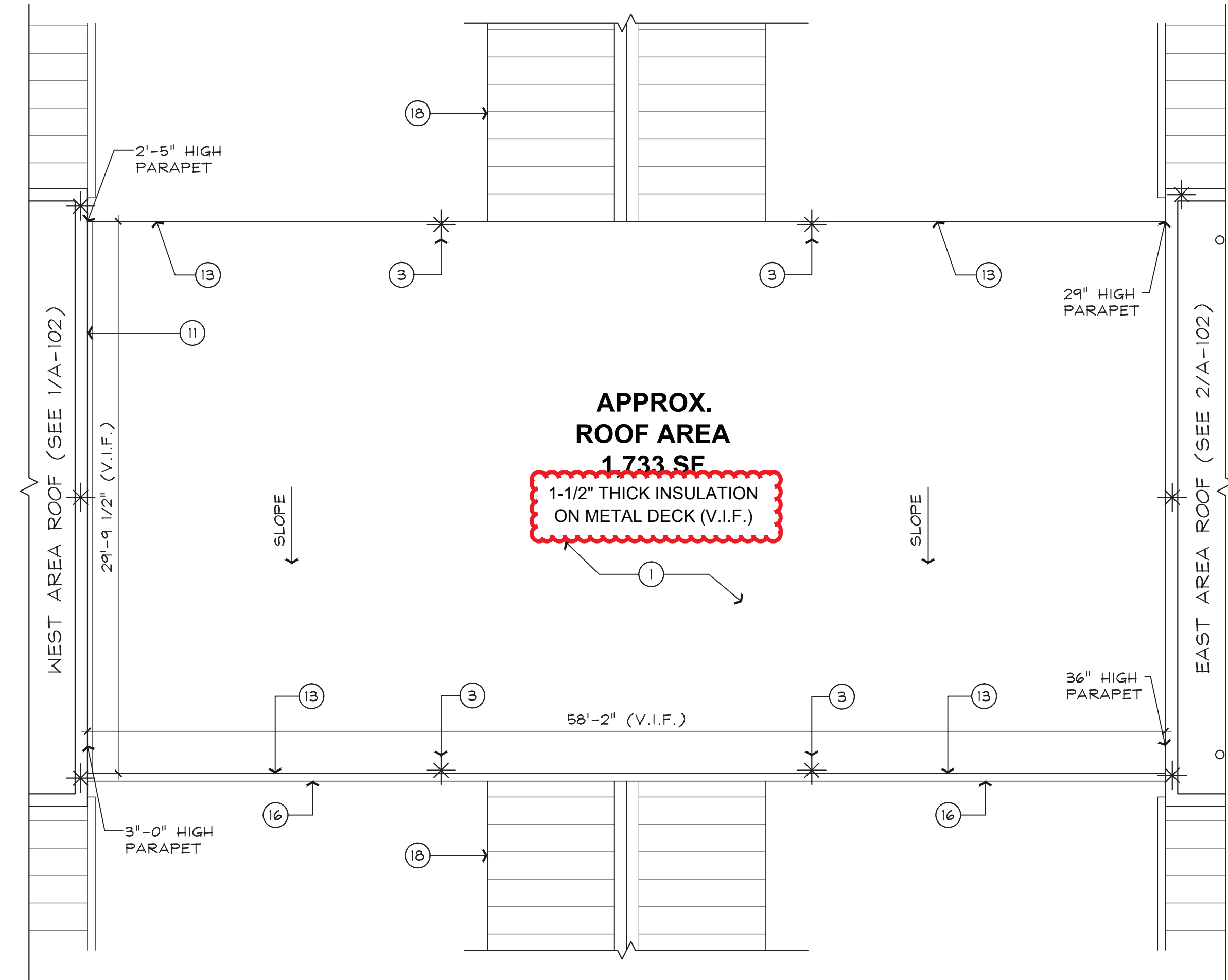
2 EXISTING/DEMO ROOF PLAN (SOUTH) - BASE BID

SCALE: 3/16" = 1'-0"

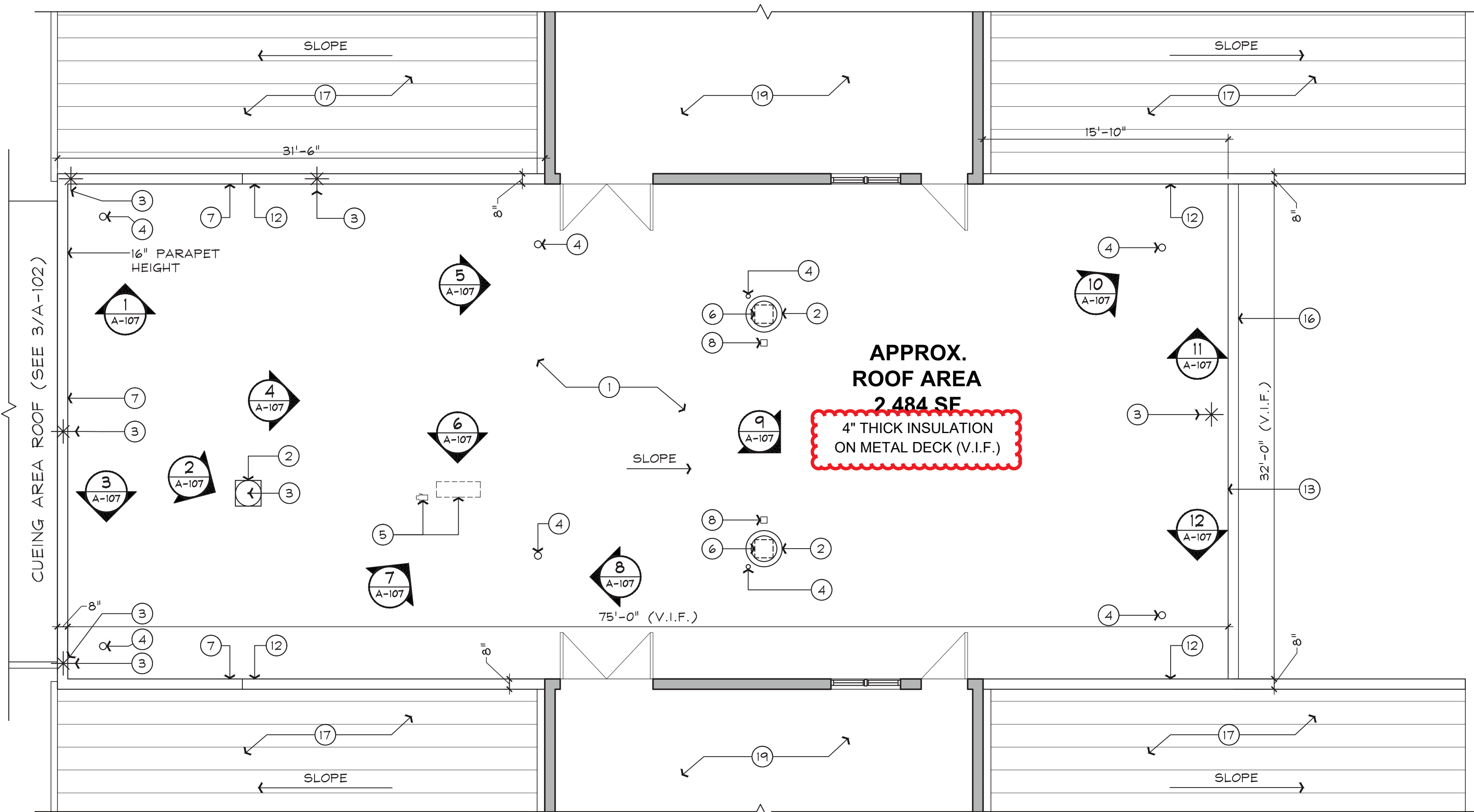
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1 EXISTING/DEMO ROOF PLAN (WEST) - ALTERNATE 1
SCALE: 3/16" = 1'-0"



3 EXISTING/DEMO ROOF PLAN (CUEING AREA) - ALTERNATE 3
SCALE: 3/16" = 1'-0"



2 EXISTING/DEMO ROOF PLAN (EAST) - ALTERNATE 2
SCALE: 3/16" = 1'-0"

X KEYNOTE LEGEND	
1.	PREPARE EXISTING ROOF PER MANUFACTURER'S INSTRUCTIONS TO RECEIVE NEW COVER BOARD AND MEMBRANE SYSTEM.
2.	EXISTING ROOF EXHAUST FAN TO REMAIN. REMOVE EXISTING FLASHING.
3.	LIGHTING PROTECTION RODS AND CONNECTIONS TO REMAIN. UNINSTALL AND REINSTALL AT SAME LOCATIONS AS NEEDED, TYPICAL AT ALL ROOFS.
4.	EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. FLASHING TO BE REMOVED.
5.	EXISTING EXISTING SPLIT SYSTEM EQUIPMENT AND REFRIGERANT LINES TO BE REMOVED BY OWNER. PATCH & REPAIR ROOF.
6.	EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. REMOVE EXISTING FLASHING, TYP.
7.	EXISTING PARAPET METAL COPING TO BE REMOVED.
8.	EXISTING CONDUIT PENETRATION IN PITCH PAN TO REMAIN. REMOVE PITCH PAN AND FLASHING. ALL PITCH POCKET TO BE REPLACED U.N.O.
9.	COORDINATE WITH OWNER ALL PHASES OF REMOVAL AND REINSTALLATION OF ELECTRICAL PIPING, REFRIGERANT LINES AND EQUIPMENT AT ICE MAKER CONDENSING UNIT.
10.	EXISTING ROOF ACCESS HATCH TO REMAIN.
11.	EXISTING BUILDING EXPANSION JOINT AND FLASHING TO BE REMOVED.
12.	EXISTING COPING TO REMAIN. REMOVE/REINSTALL AS NEEDED TO INSTALL NEW ROOF FLASHING.
13.	EXISTING ROOF EDGE FLASHING TO BE REMOVED.
14.	SHADED AREA INDICATES LIMITS OF PORTION OF EXISTING INSULATION TO BE REMOVED DOWN TO EXISTING DECK.
15.	EXISTING 6' HIGH VENT STACKS. REMOVE FLASHING SUPPORT STRAPS ATTACHED TO WALL TO BE REPLACED WITH CODE COMPLIANT TIE RODS.
16.	GUTTER SYSTEM TO BE REMOVED.
17.	EXISTING STANDING METAL ROOF TO REMAIN UNDISTURBED.
18.	EXISTING COVERED WALKWAY ROOF BELOW, NOT IN CONTRACT (N.I.C.)
19.	EXISTING STRUCTURE TO REMAIN UNDISTURBED

DEMOLITION GENERAL NOTES	
1.	IF DEMOLITION COMMENCES PRIOR TO PERMIT, GC SHALL OBTAIN DEMO PERMITS AND INCLUDE ALL COSTS OF SAME IN CONTRACT PRICE, IF REQUIRED.
2.	FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
3.	PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION AREA. KEEP AREA CLEAN.
4.	IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
5.	AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED ENTIRELY FROM THE CONSTRUCTION SITE ON A DAILY BASIS TO WASTE AREA PROVIDED BY THE CONTRACTOR.
6.	CLEAN ENTIRE SPACE, EVEN IF NOT PART OF CONSTRUCTION WORK.
7.	DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH LANDLORD & BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
8.	CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
9.	DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
10.	CONTRACTOR TO COORDINATE LOCATION OF DUMP SITE & ALL DEMO WORK WITH LANDLORD.
11.	CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MECHANICAL EQUIPMENT AND RELATED CONDUITS, AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NEEDED TO PERFORM REPLACEMENT OF ROOF MEMBRANE SYSTEM. OWNER TO PROVIDE LETTER OF RECERTIFICATION FOR LIGHTING PROTECTION SYSTEM AS REQUIRED. TYPICAL ALL ROOFS.
12.	ANY CURB UNDER 8" HIGH TO BE RAISED MINIMUM 8" HIGH ABOVE ROOF SURFACE.
13.	AREAS OF SUBSTANTIAL DECK DEFLECTION OR MEMBRANE IMPERFECTIONS SHALL BE CORRECTED PRIOR TO INSTALLING ANY NEW ROOFING. FIELD VERIFY CONDITIONS.

NOT FOR CONSTRUCTION

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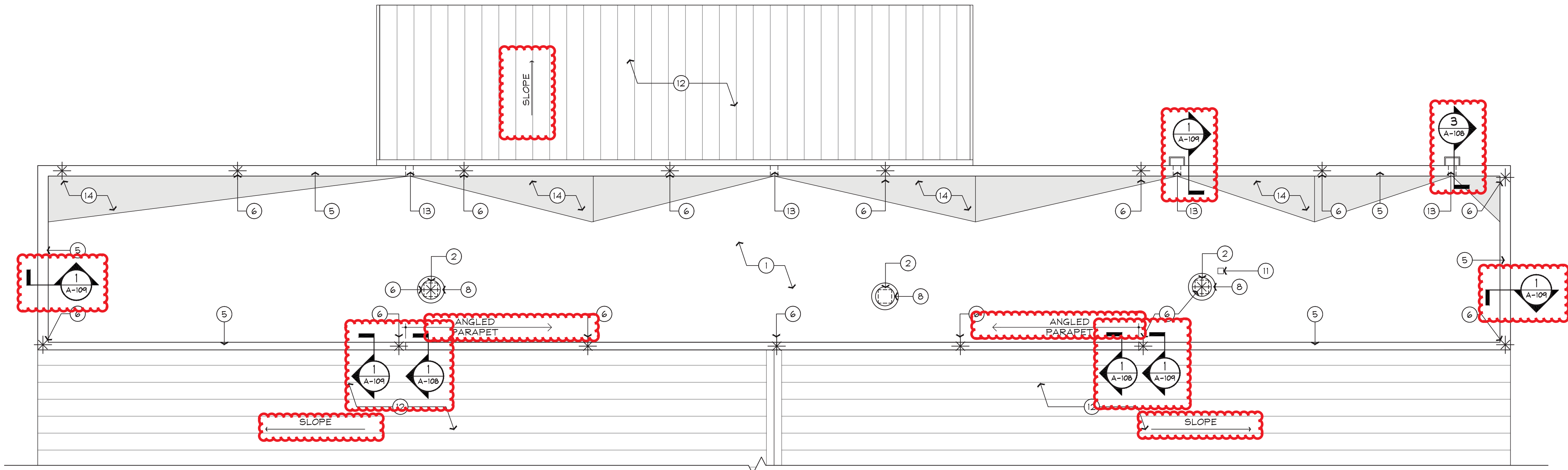
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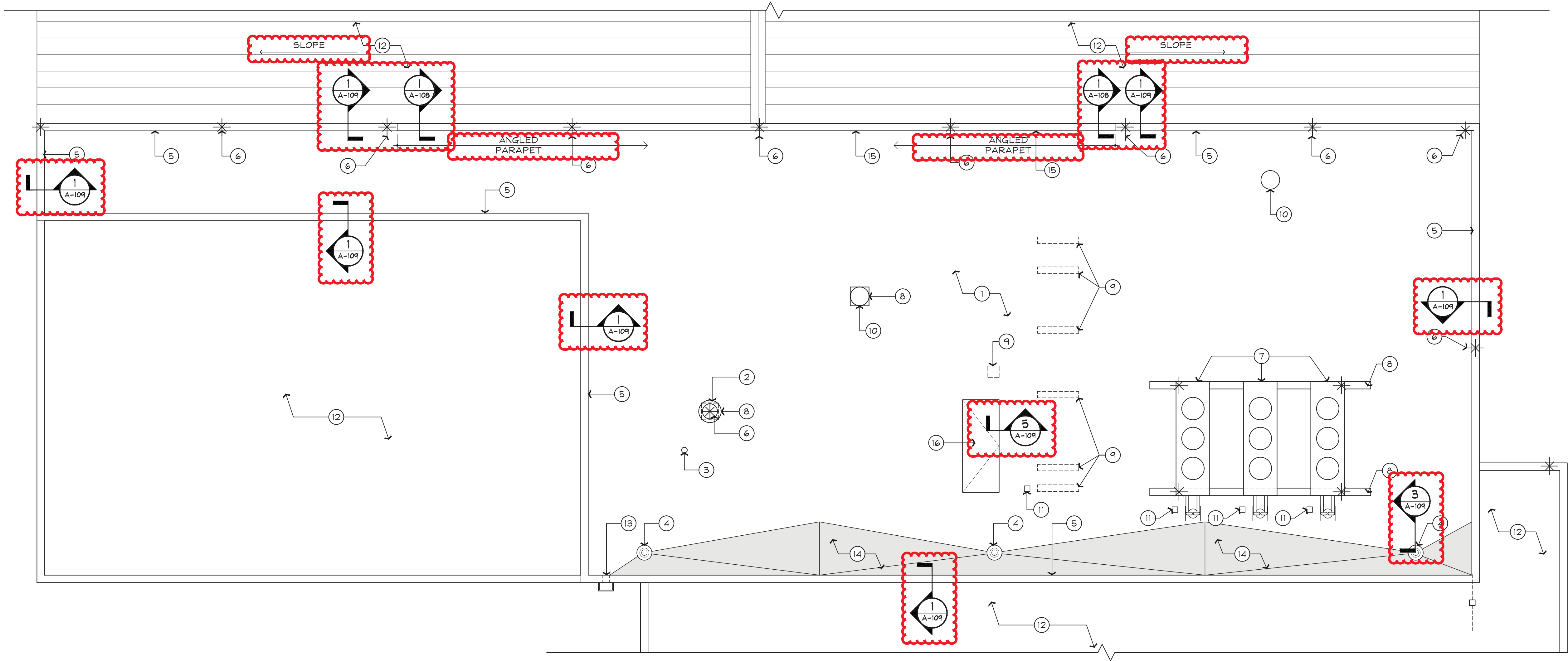
ISSUE DATE:

SHEET TITLE:
**ROOF PLAN
BUILDING 14**

SHEET NUMBER
A-101



1 ROOF PLAN (NORTH) - BASE BID
SCALE: 3/16" = 1'-0"
FEET



2 ROOF PLAN (SOUTH) - BASE BID
SCALE: 3/16" = 1'-0"
FEET

GENERAL NOTES

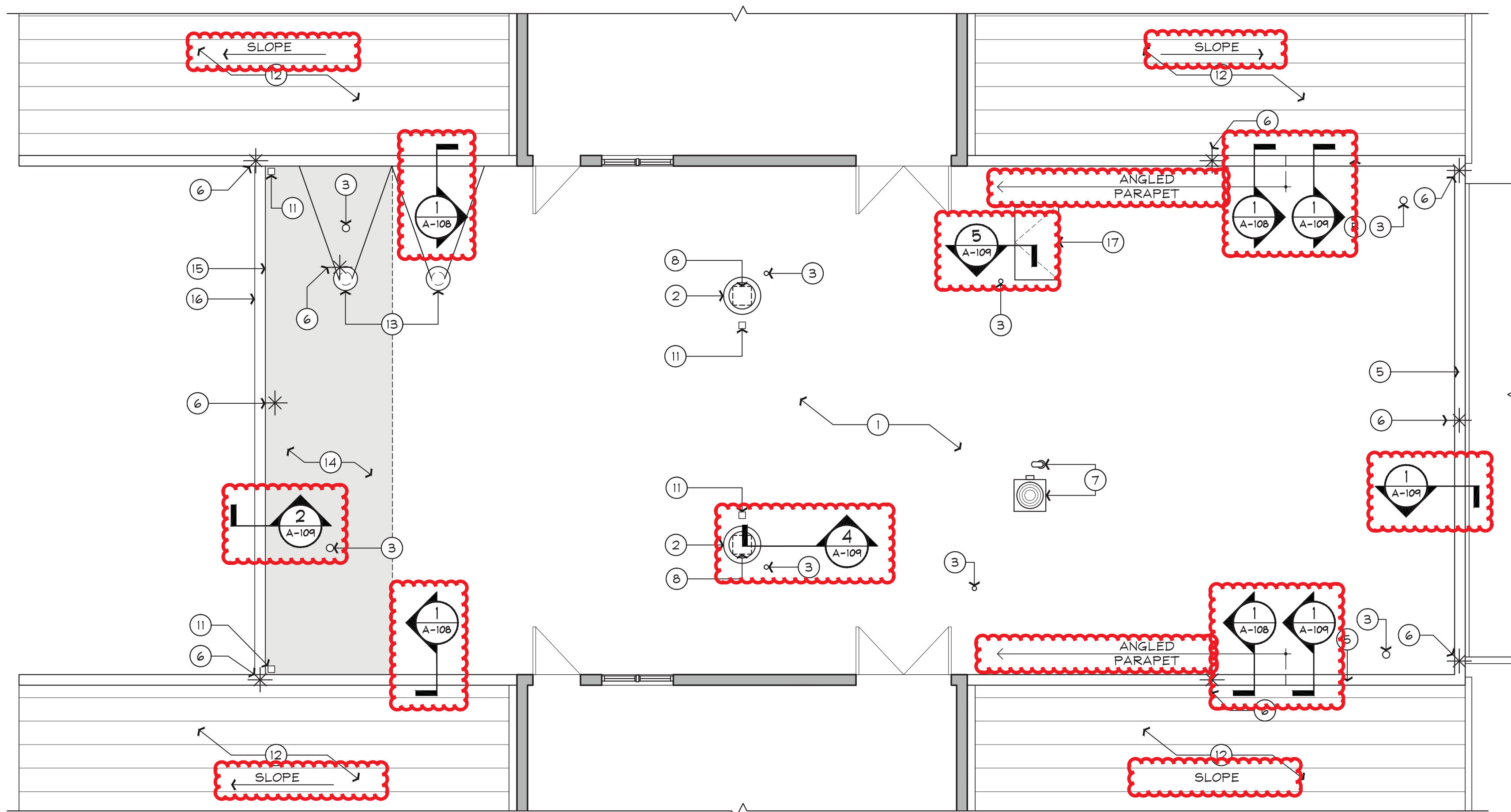
1. ALL DIMENSIONS ARE FOR REFERENCE.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EFFECTIVE AREAS.
3. PROVIDE NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.
4. REPLACE FLASHING, TYP.
5. REPLACE/REPAIR ANY DAMAGED SUBSTRATES OR BLOCKING (NOT INDICATED AS DEMO).
6. CONFIRM ROOF SLOPES TO DRAIN AS INDICATED IN PLAN.
7. CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT AND RELATED CONDUITS AS WELL AS LIGHTING PROTECTION RODS AND CONNECTIONS, AS NECESSARY TO FACILITATE REPLACEMENT OF ROOF SYSTEM.
8. ROOF INSULATION NOT TO BE MODIFIED TO REDUCE PERFORMANCE INCLUDING R-VALUE.

KEYNOTE LEGEND

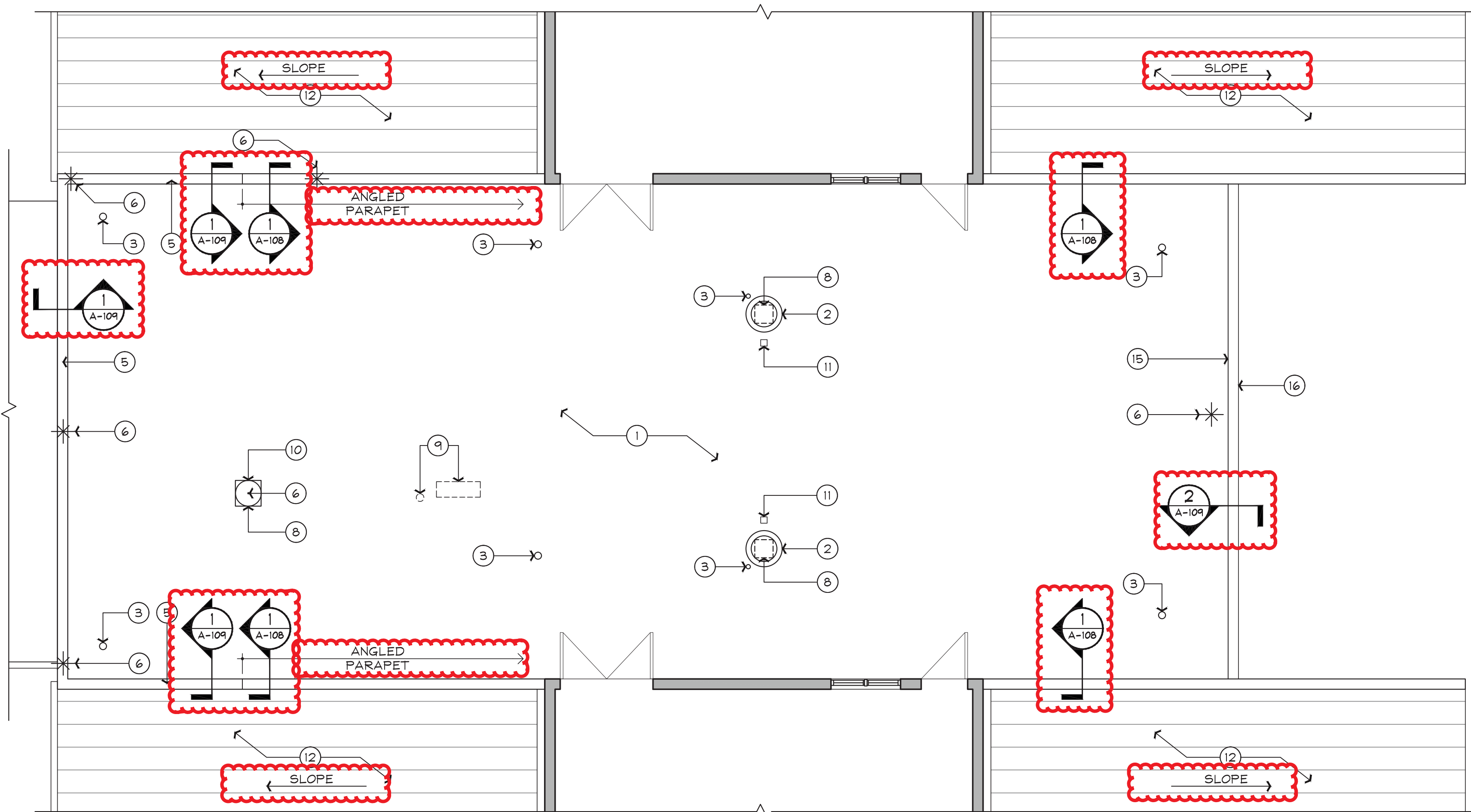
1. NEW SINGLE-PLY ROOF MEMBRANE ON NEW COVER BOARD OVER EXISTING ROOFING, TYP.
2. EXISTING EXHAUST FAN TO REMAIN. PROVIDE NEW FLASHING. SEE DETAIL 2/A-108 & 10/A-108.
3. EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. PROVIDE NEW FLASHING.
4. EXISTING ROOF DRAIN. REPLACE CLAMPING RING AND STRAINER, TYP. RESET WITH NEW ROOF SYSTEM. SEE DETAIL 3/A-109.
5. NEW PARAPET COPING, TYP. SEE DETAIL 1/A-109.
6. EXISTING LIGHTING PROTECTION RODS, TYP.
7. EXISTING MECH EQUIPMENT SUPPORT TO REMAIN. PROVIDE NEW FLASHING, TYP. SEE DETAIL 4/A-109.
8. EXISTING MECH EQUIPMENT CURB TO REMAIN. PROVIDE NEW FLASHING, TYP. 2/A-108 & 10/A-108.
9. INSTALL MTL DECK INFILL AS NEEDED, AND RIGID INSULATION TO MATCH SURROUNDING THICKNESS OF ROOF.
10. EXISTING ROOF VENT. PROVIDE NEW FLASHING 2/A-108 & 10/A-108.
11. EXISTING ELECTRICAL CONDUIT IN NEW PITCH POCKET WITH WATER TIGHT COVER. PROVIDE NEW FLASHING. SEE DETAIL 4/A-108.
12. EXISTING ROOFING SYSTEM TO REMAIN UNDISTURBED.
13. EXISTING SCUPPER. PROVIDE NEW FLASHING. SEE DETAIL 3/A-108.
14. NEW CRICKET AREA TO BE ACHIEVED WITH TAPERED INSULATION, TYP. MAINTAIN A MINIMUM OF 8" HEIGHT AT EXISTING PARAPET. IF UNABLE TO MAINTAIN 8" MINIMUM HEIGHT AFTER CRICKETING, WRAP ROOFING MEMBRANE OVER EXISTING PARAPET AND PROVIDE ROOF DRIP EDGE.
15. PROVIDE NEW PVC PIPING FOR COAXIAL LINE ON PARAPET WALL.
16. EXISTING ROOF HATCH. SEE DETAIL 5/A-109.

NOT FOR CONSTRUCTION

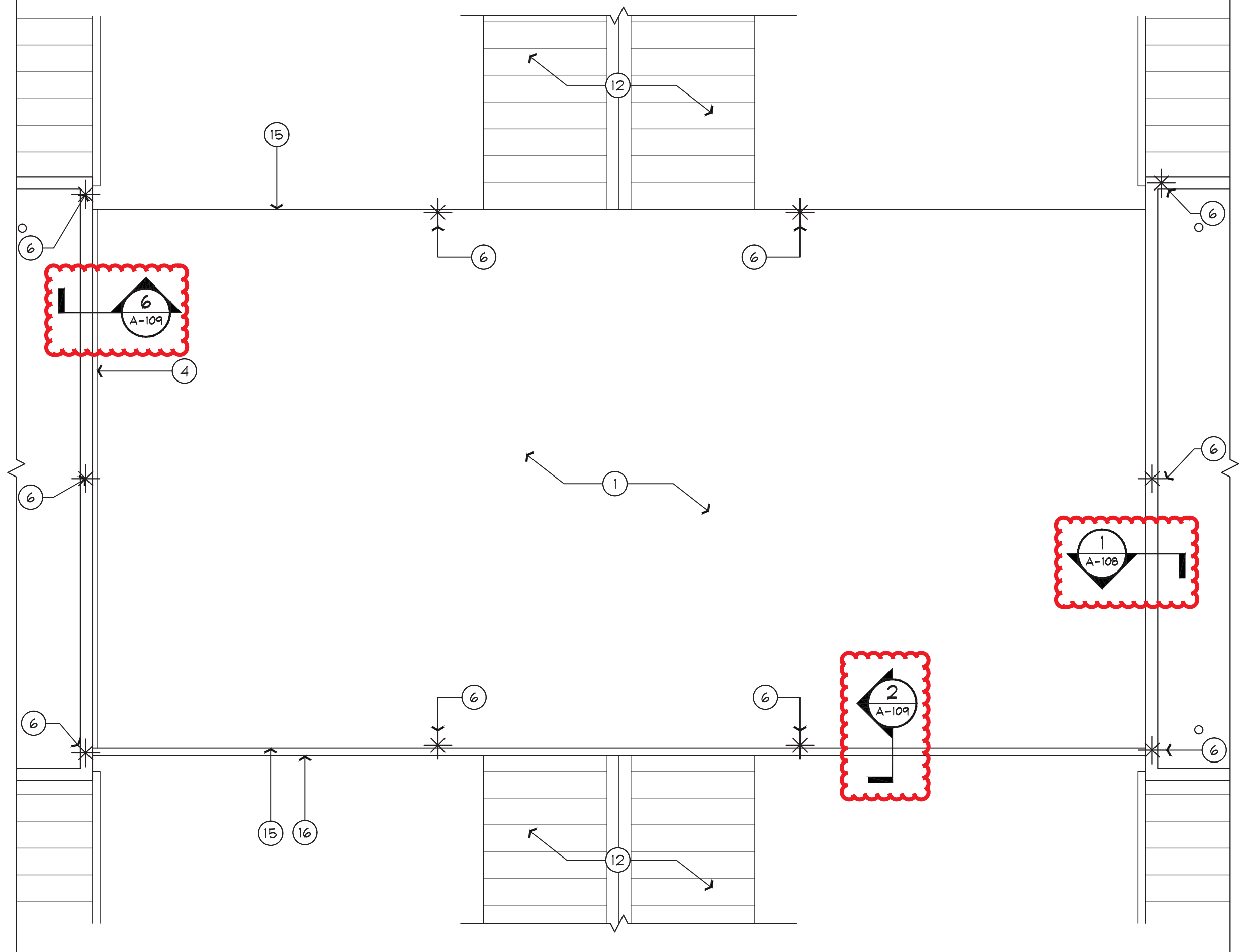
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1 ROOF PLAN (WEST) - ALTERNATE 1
SCALE: 3/16" = 1'-0"
FEET



2 ROOF PLAN (EAST) - ALTERNATE 2
SCALE: 3/16" = 1'-0"
FEET



3 ROOF PLAN (CUEING AREA) - ALTERNATE 3
SCALE: 3/16" = 1'-0"
FEET

KEYNOTE LEGEND

1. NEW SINGLE-PLY ROOF MEMBRANE ON NEW COVER BOARD OVER EXISTING ROOFING, TYP.
2. EXISTING EXHAUST FAN TO REMAIN. PROVIDE NEW FLASHING. SEE DETAIL 2/A-108 & 10/A-108.
3. EXISTING VENT THROUGH ROOF (VTR) TO REMAIN. PROVIDE NEW FLASHING.
4. BUILDING EXPANSION JOINT WITH END CAPS. PROVIDE NEW EDGE FLASHING, TYP. SEE DETAIL 6/A-109.
5. NEW PARAPET COPING, TYP. SEE DETAIL 1/A-109.
6. EXISTING LIGHTING PROTECTION ROD.
7. COORDINATE WITH OWNER REINSTALLATION OF ELECTRICAL PIPING, REFRIGERANT LINES, ROOF CURB AND/OR EQUIPMENT SUPPORT FOR ICE MAKER CONDENSING UNIT. SEE DETAIL 7/A-108.
8. EXISTING MECHANICAL EQUIPMENT CURB TO REMAIN. PROVIDE NEW FLASHING, TYP. 2/A-108 & 10/A-108.
9. INSTALL METAL DECK INFILL AS NEEDED, AND RIGID INSULATION TO MATCH SURROUNDING THICKNESS OF ROOF.
10. EXISTING ROOF VENT. PROVIDE NEW FLASHING. 2/A-108 & 10/A-108.
11. EXISTING ELECTRICAL CONDUIT IN NEW PITCH POCKET WITH WATER TIGHT COVER. PROVIDE NEW FLASHING. SEE DETAIL 4/A-108.
12. EXISTING ROOFING SYSTEM TO REMAIN UNDISTURBED.
13. EXISTING VENT STACKS. PROVIDE NEW FLASHING AND CODE COMPLIANT TIE RODS.
14. AREA OF APPROX. 8' WIDE WITH NEW RIGID INSULATION TO MATCH EXIST INSULATION THICKNESS.
15. NEW ROOF EDGE FLASHING, TYP. SEE DETAIL 2/A-109.
16. NEW GUTTER SYSTEM TO MATCH EXISTING. SEE DETAIL 2/A-109.
17. EXISTING ROOF HATCH. SEE DETAIL 5/A-109.

GENERAL NOTES

1. ALL DIMENSIONS ARE FOR REFERENCE. GC TO FIELD VERIFY
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EFFECTIVE AREAS.
3. PROVIDE NEW ROOFING MEMBRANE SYSTEM ON RIGID COVER BOARD OVER EXISTING ROOF.
4. REPLACE FLASHING, TYP. .
5. REPLACE/REPAIR ANY DAMAGED SUBSTRATES OR BLOCKING (NOT INDICATED AS DEMO).
6. CONFIRM ROOF SLOPES TO DRAIN AS INDICATED IN PLAN.
7. CONTRACTOR TO REMOVE AND REINSTALL ROOF TOP MOUNTED MECHANICAL EQUIPMENT AS NECESSARY TO FACILITATE REPLACEMENT OF ROOF SYSTEM.
8. ROOF INSULATION NOT TO BE MODIFIED TO REDUCE PERFORMANCE INCLUDING R-VALUE.

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ROOF RENOVATION**
520 N Falkenberg Road
Tampa, FL 33619

Joseph V. Belluccia, AIA

FL REG AR92396

I CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE DRAWINGS & SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES

JOB NO : 19017

DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:

**ROOF PLAN
BUILDING 2**

SHEET NUMBER

A-102

NOT FOR CONSTRUCTION



1 DEMO PHOTO



2 DEMO PHOTO



3 DEMO PHOTO



4 DEMO PHOTO



5 DEMO PHOTO



6 DEMO PHOTO



7 DEMO PHOTO



8 DEMO PHOTO



9 DEMO PHOTO



10 DEMO PHOTO



11 DEMO PHOTO

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JOB NO :	19017
DRAWN BY :	CW
ISSUE DATE :	
SHEET TITLE:	
ROOF PHOTOS NORTH BLDG 14	
SHEET NUMBER	A-103

NOT FOR CONSTRUCTION



1 DEMO PHOTO



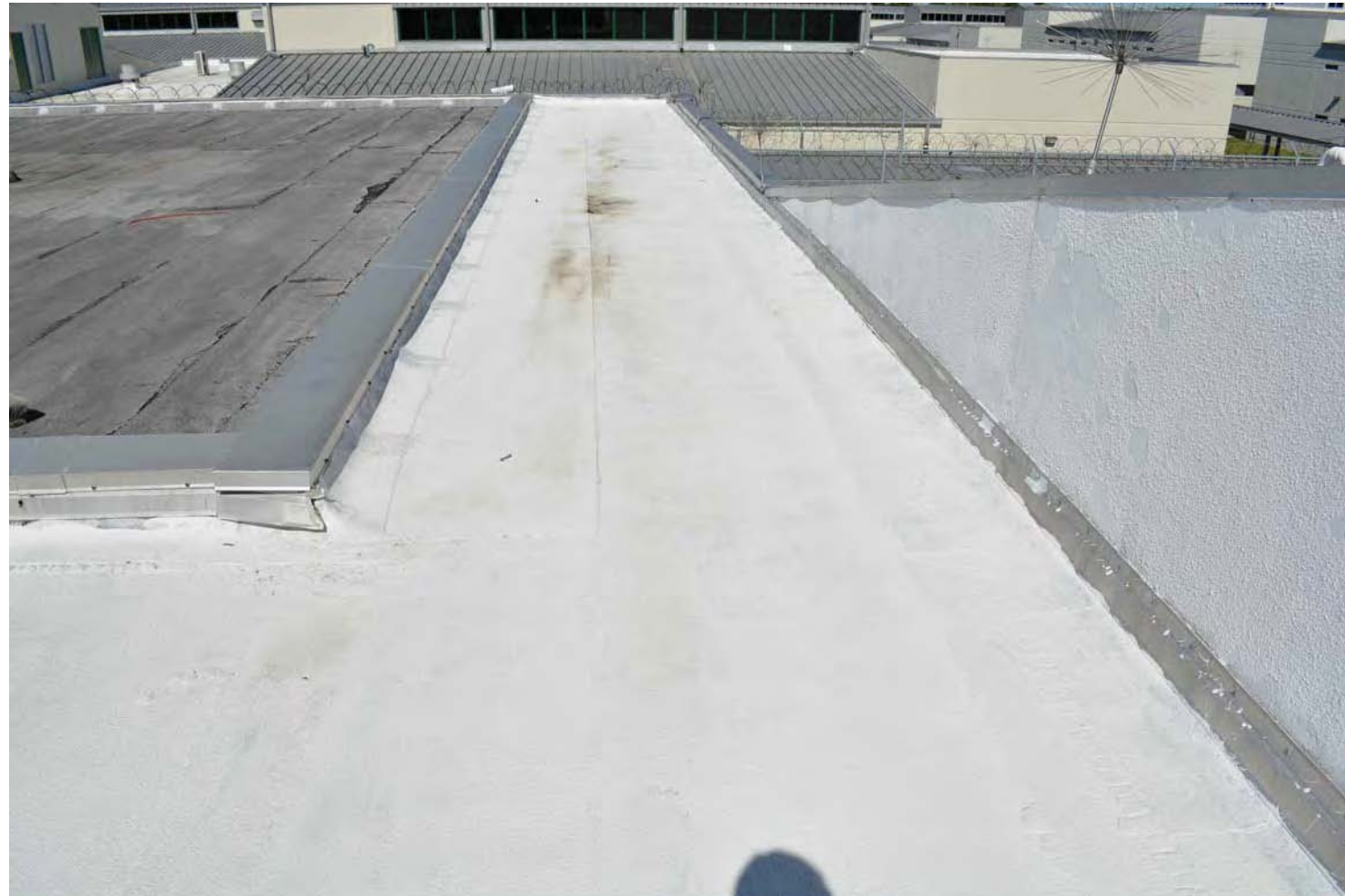
2 DEMO PHOTO



3 DEMO PHOTO



4 DEMO PHOTO



5 DEMO PHOTO



6 DEMO PHOTO



7 DEMO PHOTO



8 DEMO PHOTO



9 DEMO PHOTO



10 DEMO PHOTO



11 DEMO PHOTO



12 DEMO PHOTO

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DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:
ROOF PHOTOS
SOUTH BLDG 14

SHEET NUMBER
A-104

Dwg Name: 19017 A-103-A-105.dwg [A-104] - Printed on: Jul 09, 2019 - 10:37 AM, by jvb-ws-8

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13 DEMO PHOTO



14 DEMO PHOTO



15 DEMO PHOTO



16 DEMO PHOTO



17 DEMO PHOTO



18 DEMO PHOTO



19 DEMO PHOTO



20 DEMO PHOTO

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JOB NO :	19017
DRAWN BY :	CW
ISSUE DATE :	
SHEET TITLE:	
ROOF PHOTOS SOUTH BLDG 14	
SHEET NUMBER	105

NOT FOR CONSTRUCTION



1 DEMO PHOTO



2 DEMO PHOTO



3 DEMO PHOTO



4 DEMO PHOTO



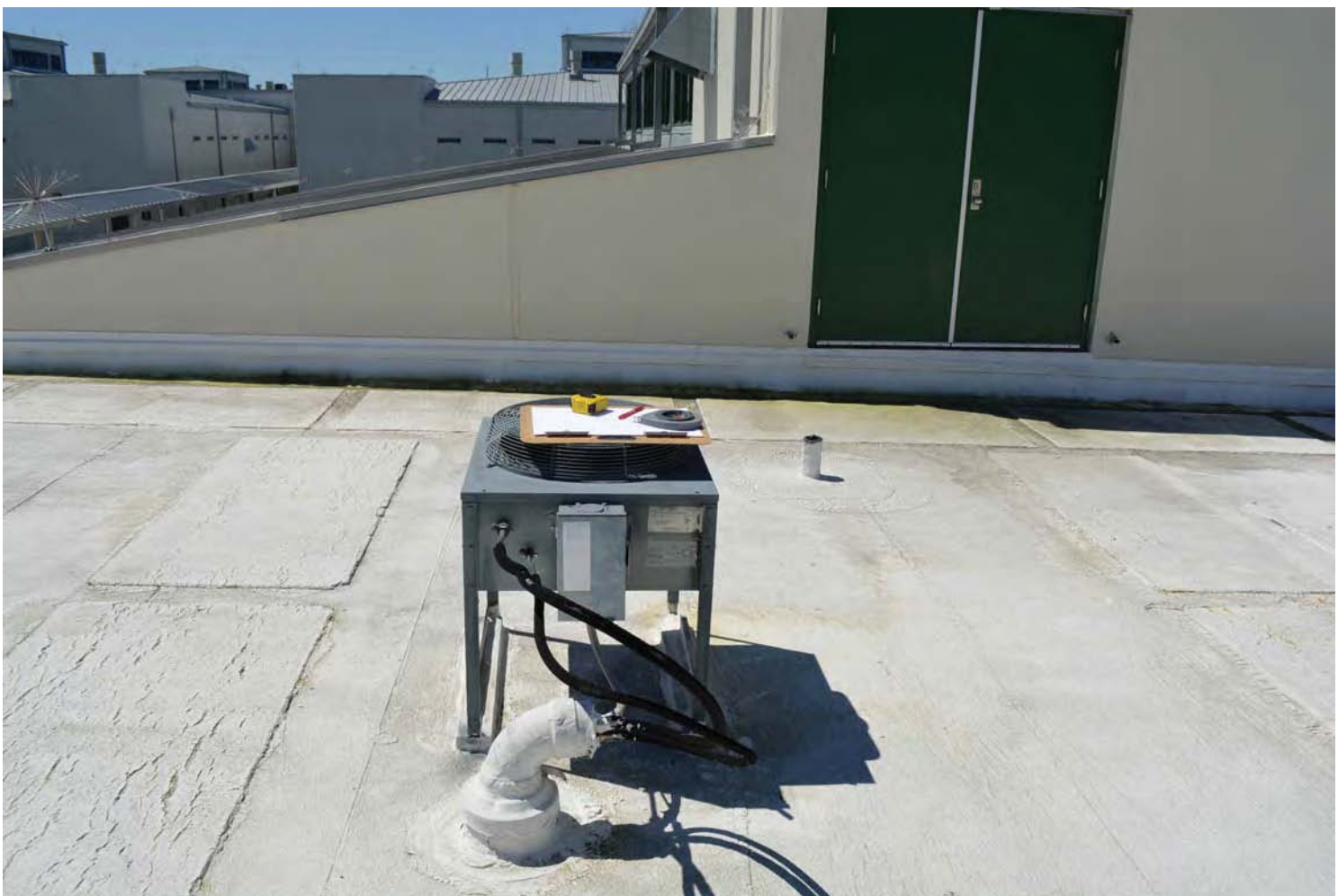
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8 DEMO PHOTO



9 DEMO PHOTO



10 DEMO PHOTO



11 DEMO PHOTO



12 DEMO PHOTO

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JOB NO : 19017

DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:
ROOF PHOTOS
WEST BLDG 2

SHEET NUMBER
A-106



1 DEMO PHOTO



2 DEMO PHOTO



3 DEMO PHOTO



4 DEMO PHOTO



5 DEMO PHOTO



6 DEMO PHOTO



7 DEMO PHOTO



8 DEMO PHOTO



9 DEMO PHOTO



10 DEMO PHOTO



11 DEMO PHOTO



12 DEMO PHOTO

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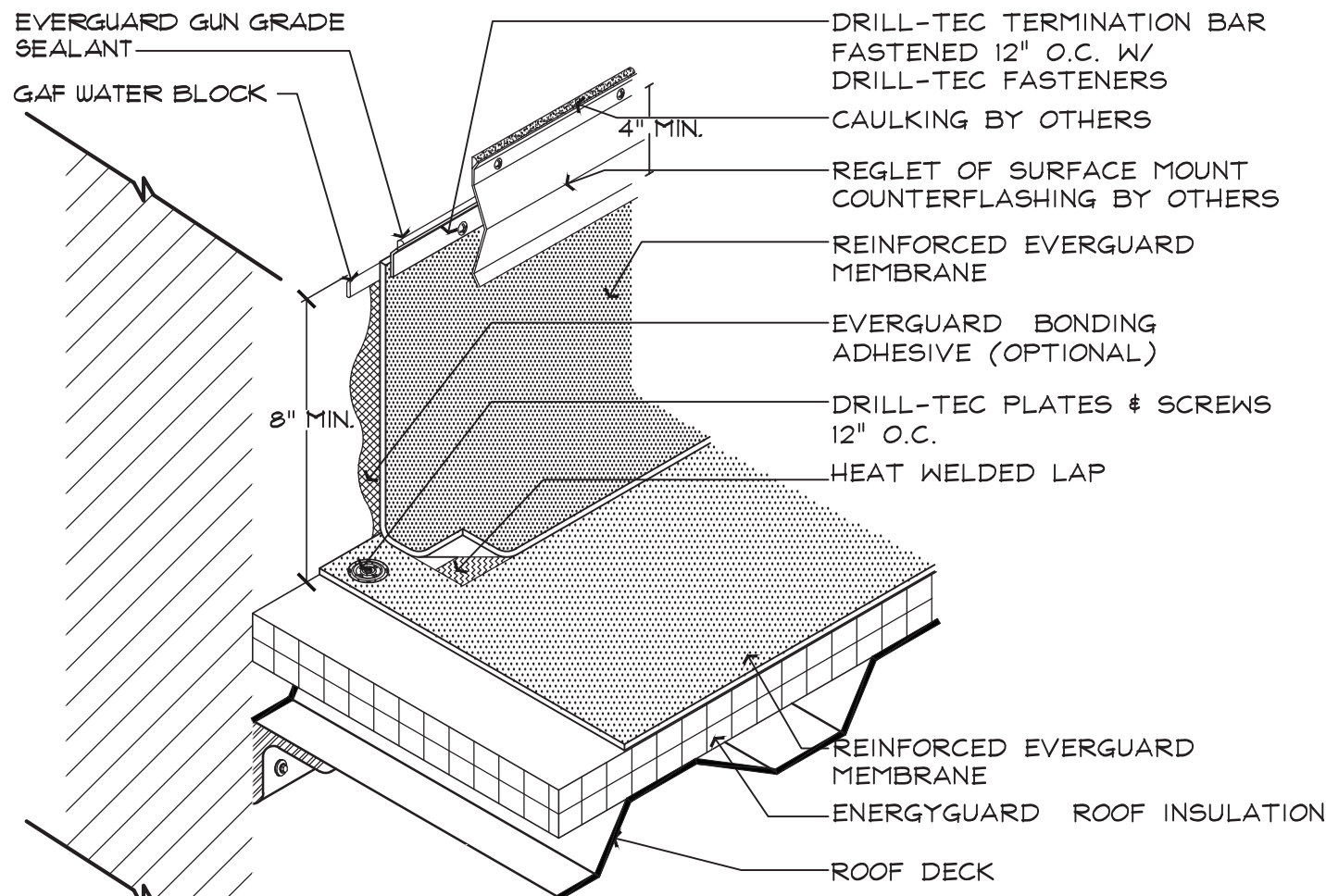
JOB NO : 19017

DRAWN BY : CW

ISSUE DATE :

SHEET TITLE:
ROOF PHOTOS
EAST BLDG 2

SHEET NUMBER
A-107

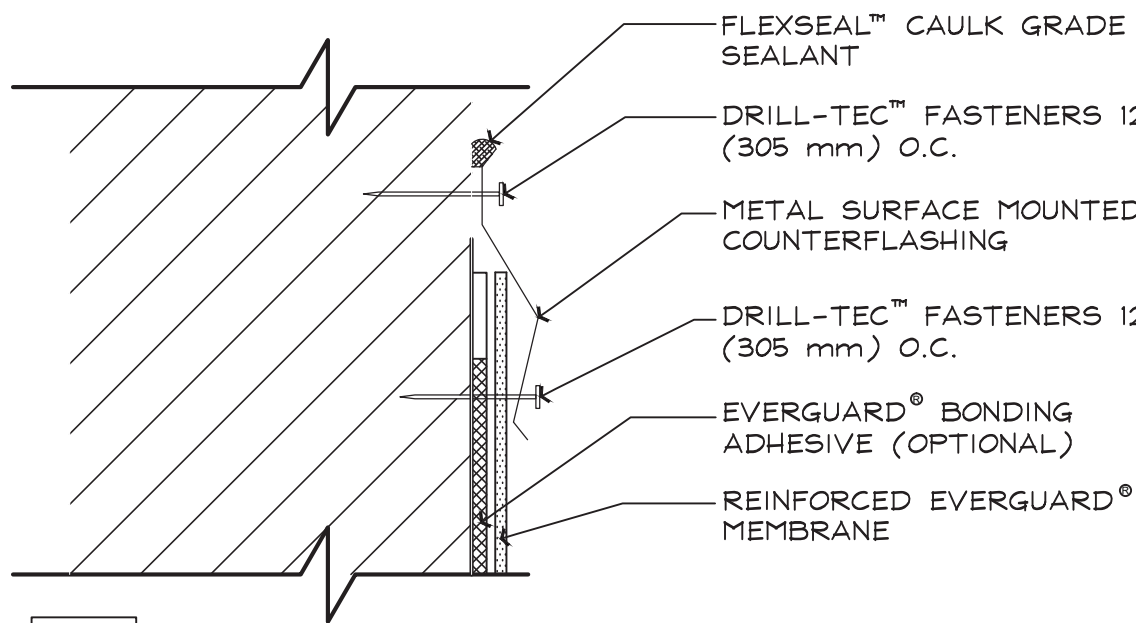


NOTE:

1. THE FOLLOWING APPLIES FOR MA SYSTEMS ONLY: FOR INSULATION THICKNESSES GREATER THAN 8" CONTACT GAF CONTRACTOR SERVICES FOR ALTERNATE ATTACHMENT REQUIREMENTS. THESE METHODS MAY INCLUDE THE USE OF A HARD BOARD COVERING THE ASSEMBLY.
2. PLATES & SCREWS 6" O.C. REQ'D FOR BA SYSTEMS.
3. COUNTERFLASHING REQUIRED FOR 20 YEAR SYSTEM.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11).

1 PARAPET WALL DETAIL

SCALE: N.T.S.

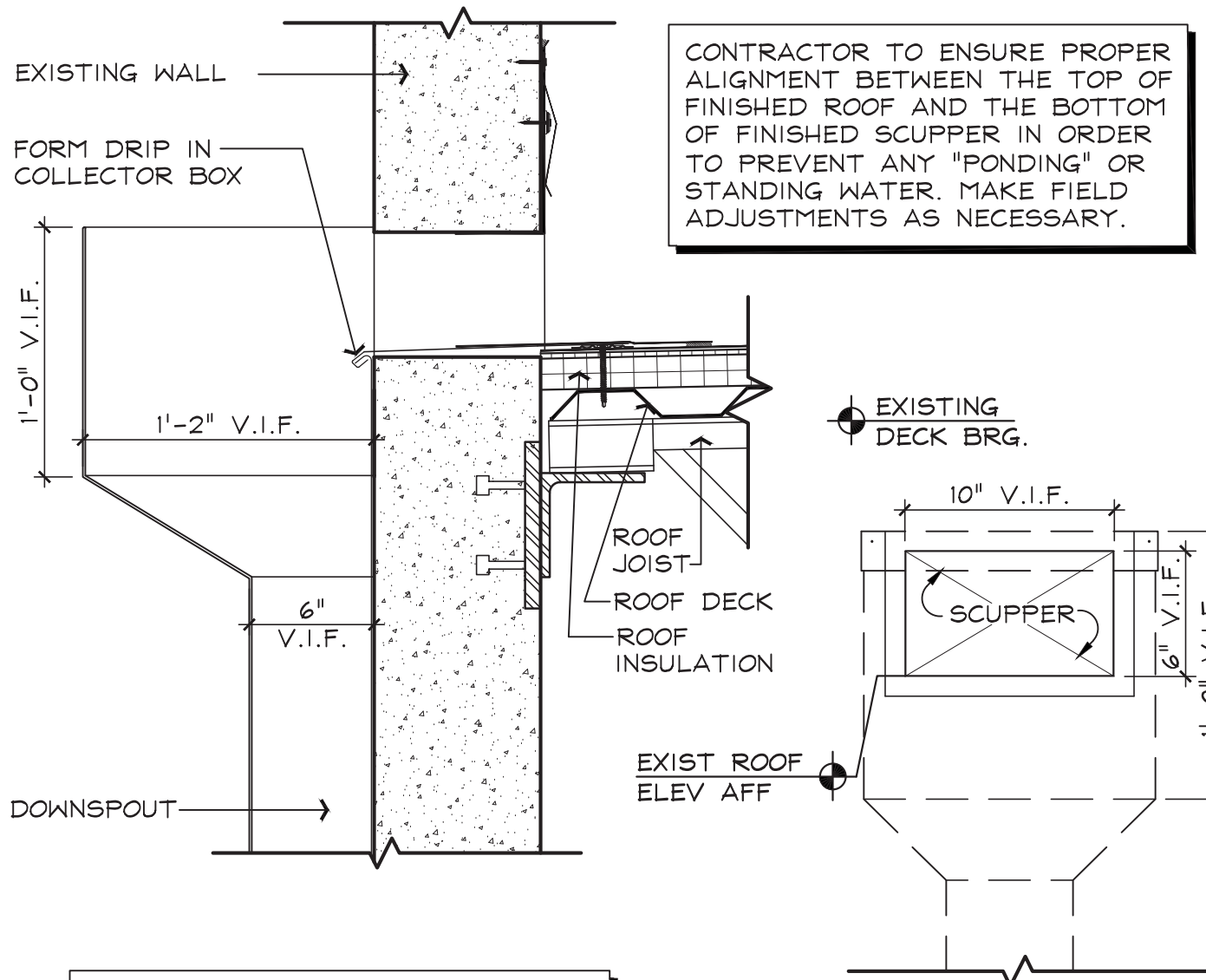


NOTE:

EXISTING COUNTERFLASHING MUST BE IN GOOD WORKABLE CONDITION AND TIGHT TO WALL.

5 MECHANICAL TERMINATION DTL.

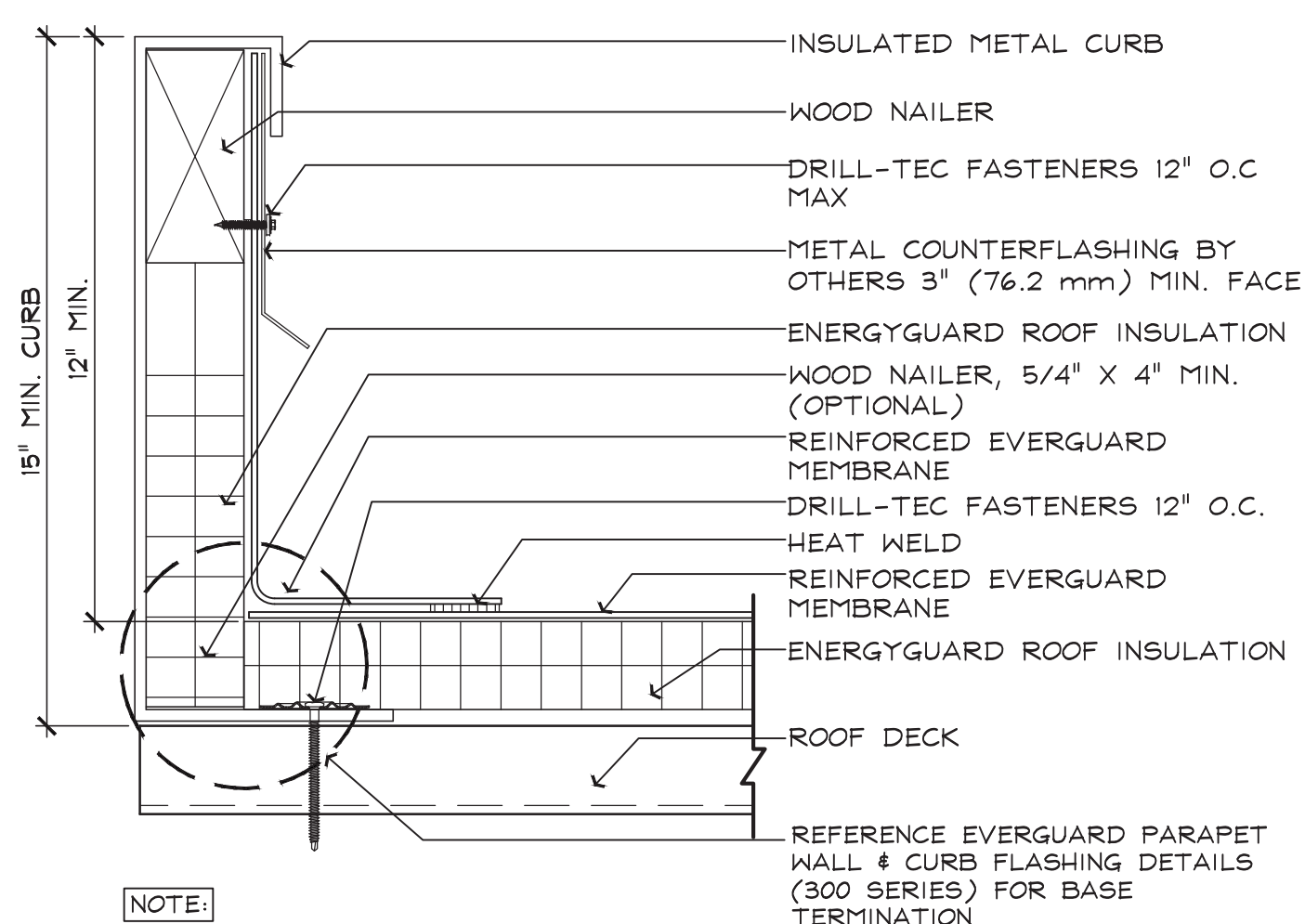
SCALE: N.T.S.



PROVIDE FLASHING FOR SCUPPERS. SCUPPER FLASHING DETAILS SEE SMACNA FIG. 1-30A & FIG. 1-30B CONDUCTOR/COLLECTOR BOX SEE SMACNA FIG. 1-25F & 1-27A

9 SCUPPER DETAIL

SCALE: 1'-1/2" = 1'-0"

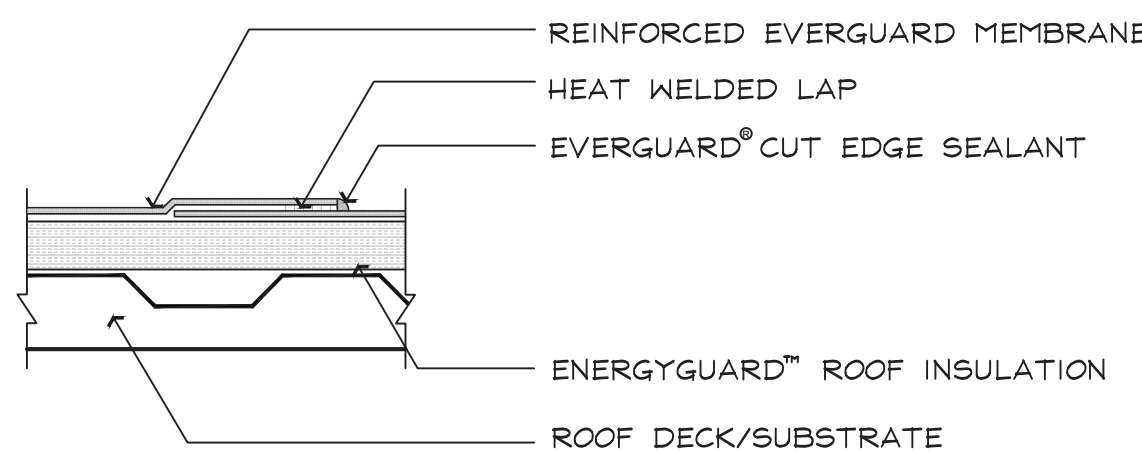


NOTE:

1. METAL COUNTERFLASHING IS NOT REQ. IF MEMBRANE IS RUN UP AND OVER CURB WALLS PRIOR TO INSTALLATION OF R.T.U.
2. INSTALL METAL WORK IN ACCORDANCE WITH CURRENT SMACNA RECOMMENDATIONS.
3. PLATES & SCREWS 6" O.C. REQ'D FOR BA SYSTEMS.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11).

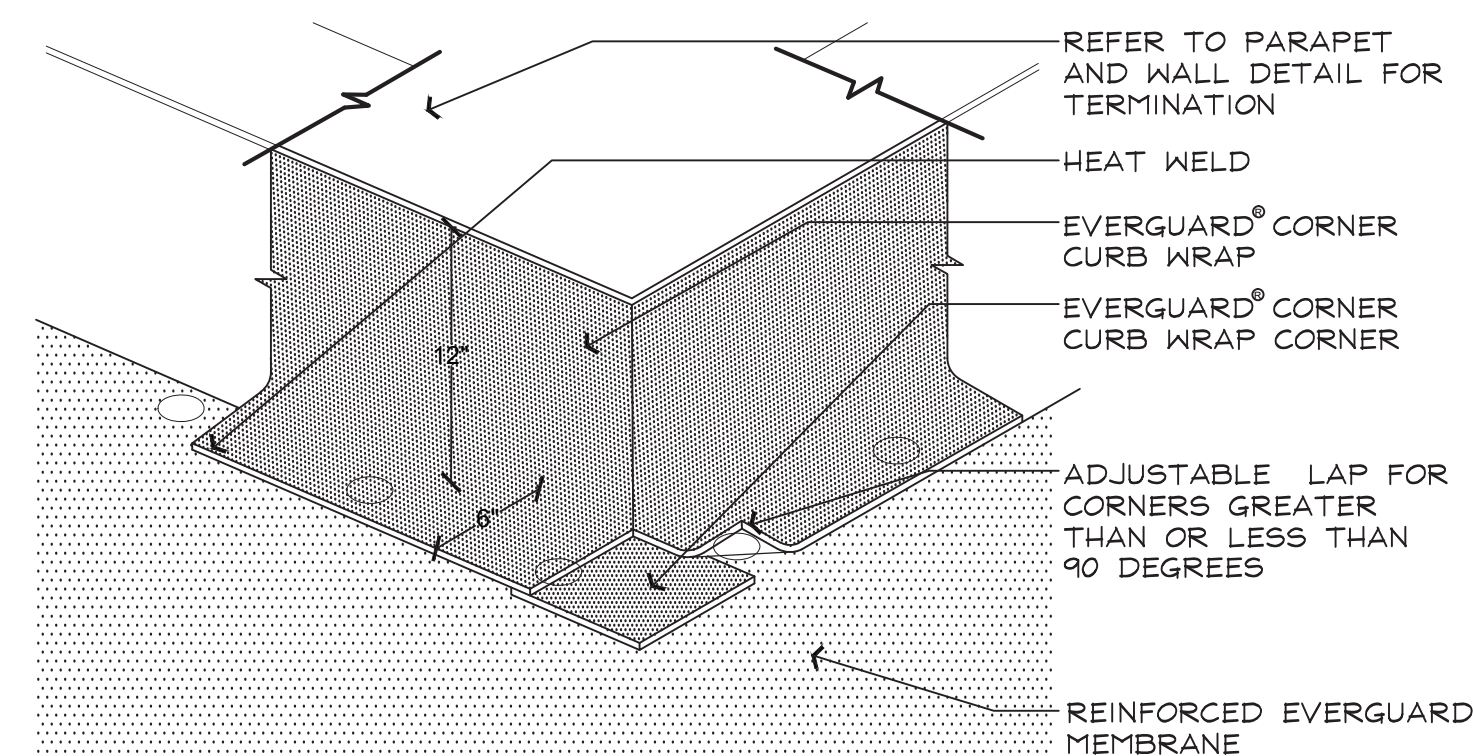
2 ROOF CURB SECTION

SCALE: N.T.S.



6 CUT EDGE SEALANT DETAIL

SCALE: N.T.S.

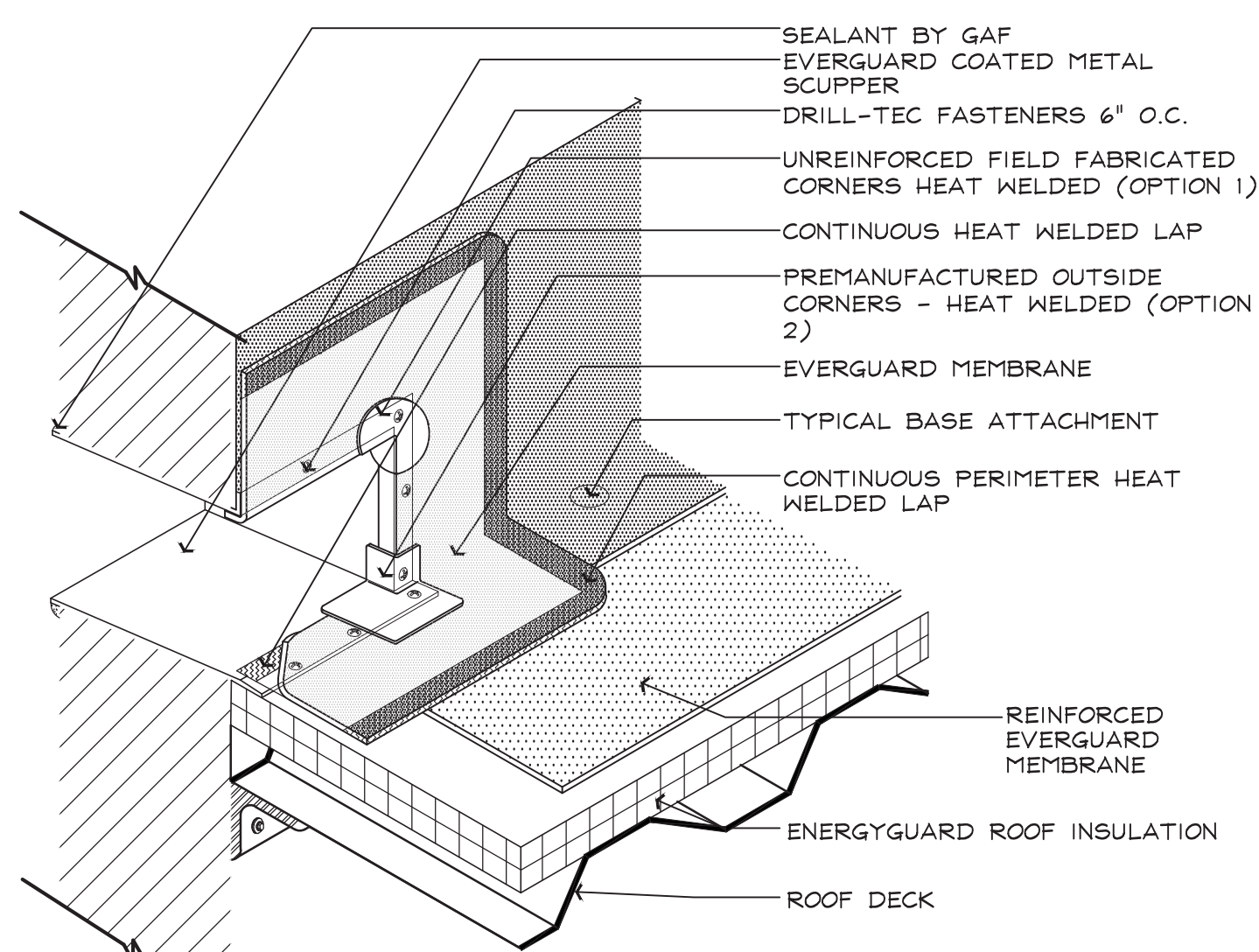


NOTE:

1. FOUR CORNER CURB WRAP PIECES ARE NEEDED TO COMPLETE. VARYING SIZES MAY BE NEEDED TO COMPLETE
2. INSTALLATION OF FASTENERS & PLATES 12" O.C. APPROXIMATELY 6" (150 mm) FROM CORNER.
3. FLASHINGS MAY BE ADHERED OR INSTALLED DRY. SEE SPEC FOR DIMENSIONS.
4. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO DETAIL 1/A5-11).

10 ROOF DETAIL - CURBS/CORNERS

SCALE: N.T.S.

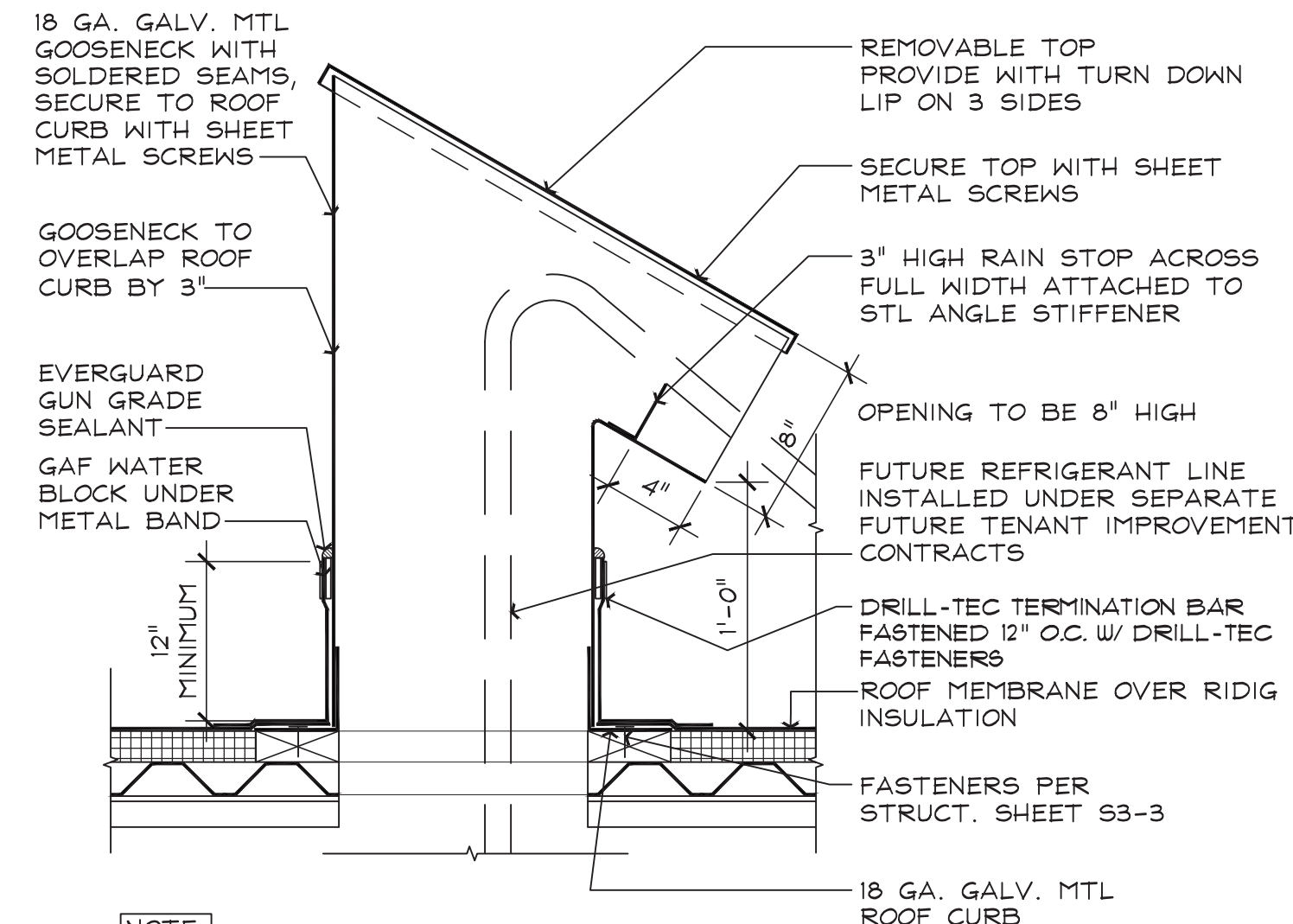


NOTE:

1. INSTALL EVERGUARD UNREINFORCED OR PREMANUFACTURED OUTSIDE CORNERS TO THE SCUPPERS' FOUR ROOF SIDE CORNERS.
2. OPTIONS 1 & 2 EITHER PRE-FAB OR FIELD FAB.
3. PLATES & SCREWS REQ'D FOR BASE ATTACHMENT 6" O.C. FOR BA SYSTEMS.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11) AS NEEDED.

3 SECTION DETAIL - SCUPPER

SCALE: N.T.S.

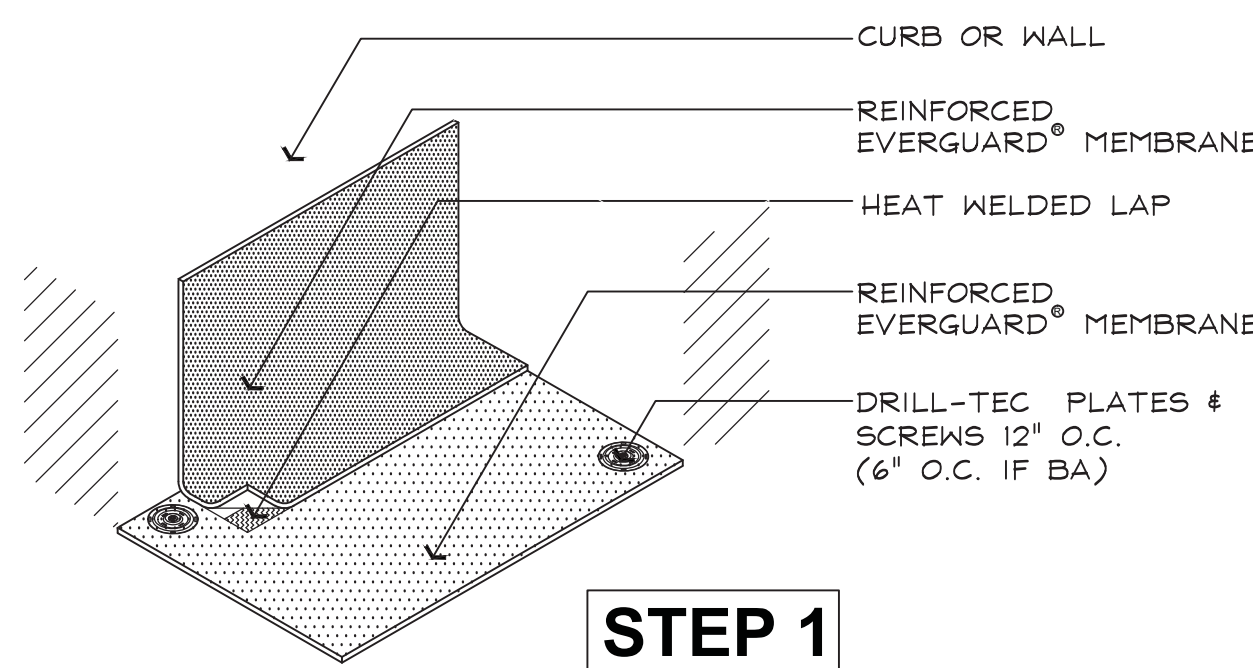


NOTE:

1. SEE 1/A5.1 FOR SIMILAR DETAIL

7 ROOF DETAIL - REF. PIPE HOOD

SCALE: N.T.S.

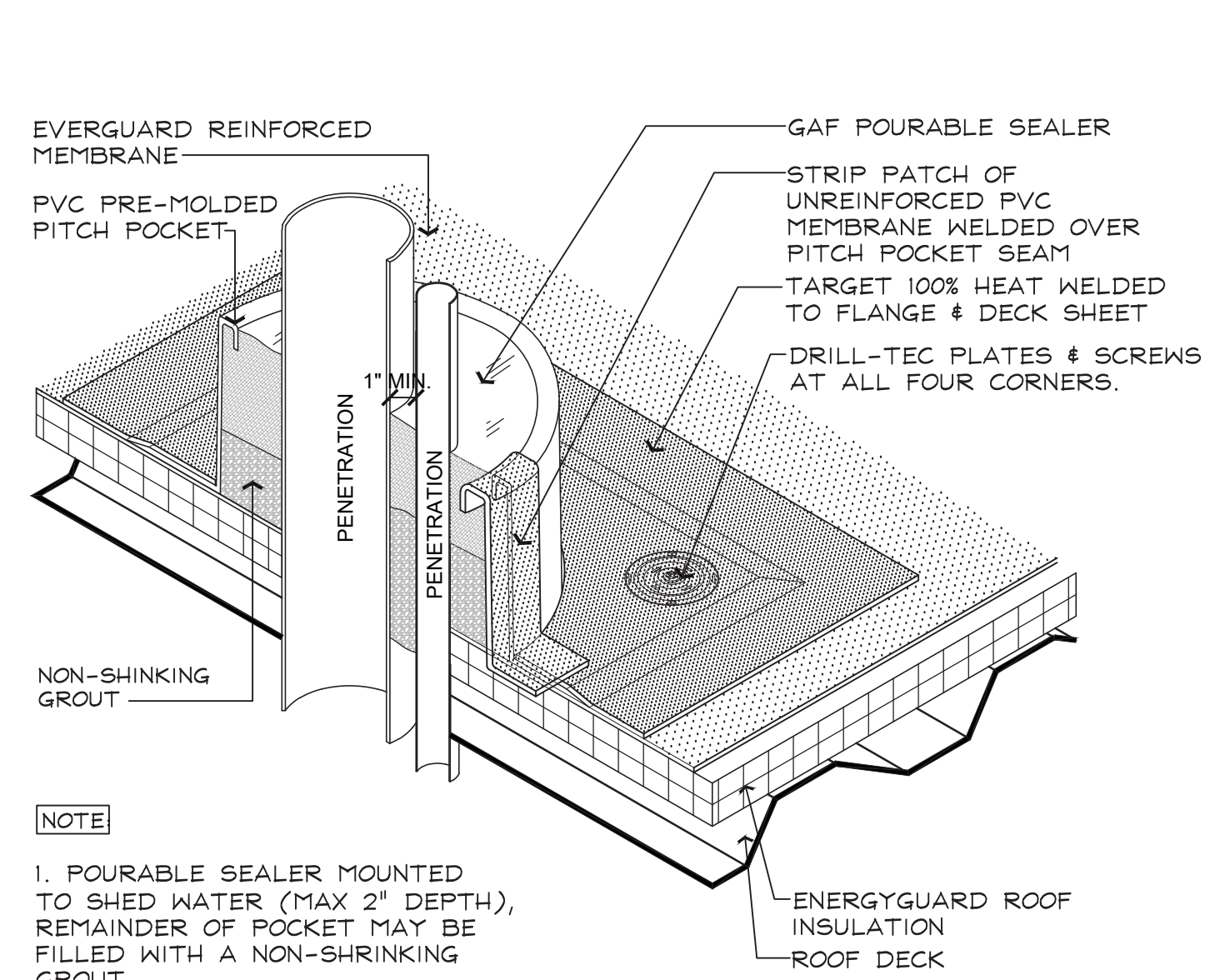


NOTE:

1. ALL SEGMENTS OF THE EAR MUST BE WELDED TOGETHER AND WELDED TO THE WALL
2. CHECK SYSTEM SPEC FOR GUIDELINES ON ADHERING FLASHINGS.
3. APPLY EVERGUARD TPO CUT AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL 1/A5-11)

11 INSIDE CORNER FABRICATION

SCALE: N.T.S.

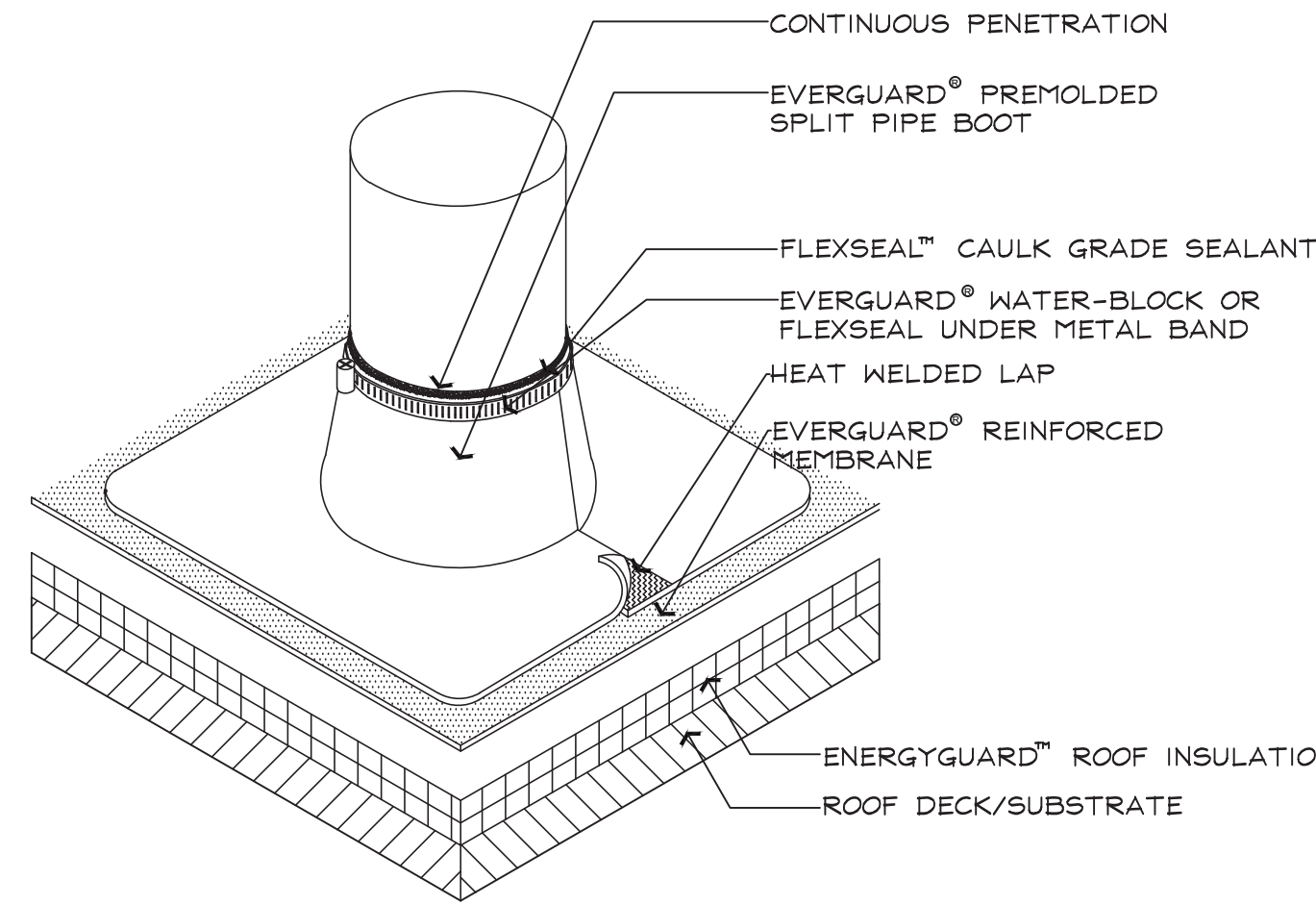


NOTE:

1. POURABLE SEALER MOUNTED TO SHED WATER (MAX 2' DEPTH), REMAINDER OF POCKET MAY BE FILLED WITH A NON-SHRINKING GROUT.

4 PITCH PAN DETAIL

SCALE: N.T.S.

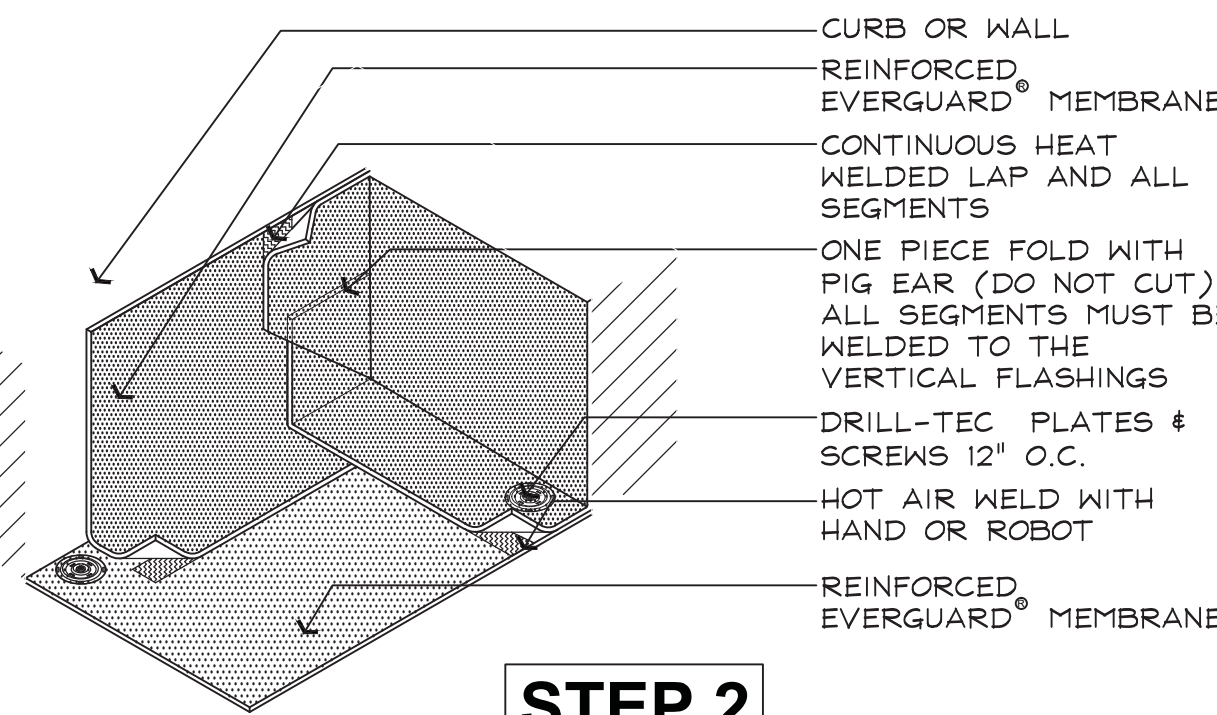


NOTES:

1. FOUR DRILL-TEC PLATES & SCREWS AROUND PENETRATION.
2. IF PLATES AND FASTENERS ENCOACH INTO THE SEAM AREA OF THE POCKET, THEN A TARGET MUST BE ADDED FIRST TO COVER FASTENERS.
3. 25 YEAR GUARANTEES AND ABOVE MUST USE EXTREME ACCESSORIES
4. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD DETAIL 115).

8 SPLIT PIPE BOOT DETAIL

SCALE: N.T.S.



STEP 2

ROOF DETAIL NOTE:

FOR ANY SPECIFIC ROOFING DETAILS NOT PROVIDED, ROOFING CONTRACTOR SHALL CONTACT ROOF MANUFACTURER

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JOB NO: 19017

DRAWN BY: EP

ISSUE DATE:

SHEET TITLE:

TYPICAL ROOF DETAIL

SHEET NUMBER

A-108

Dwg Name: 19017 A-108-A-109.dwg [A-109] - Printed on: Jul 09, 2019 - 10:38AM by jvb-ws-8

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DRAWN BY :	EP
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SHEET TITLE:	
TYPICAL ROOF DETAIL	
SHEET NUMBER	
A-109	

NOT FOR CONSTRUCTION

FLASHING KEY

- 24" - 54" (610 mm - 1.37 m) REQUIRES BONDING ADHESIVE
- UP TO 24" (610 mm) DRY HUNG

FASTEN CLIP
12" (305 mm) O.C.

COPING CAP

EVERGUARD® BONDING ADHESIVE (SEE FLASHING KEY)

DRILL-TEC PLATES & SCREWS 12" (305 mm) O.C. (6" [152 mm] O.C. FOR BALLASTED SYSTEMS)

HEAT-WELDED LAP (SEE NOTE #3)

REINFORCED EVERGUARD® MEMBRANE

ENERGYGUARD™ ROOF INSULATION

ROOF DECK/SUBSTRATE

WOOD NAILER, 5/4" (31.8 mm) x 4" (102 mm) MIN. WIDE SECURED TO DECK (OPTIONAL)

ALTERNATE BASE
REFER TO EVERGUARD DETAIL 307

NOTE:

1. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICALLY FASTENED SYSTEMS ONLY.
2. IF EVERGUARD® FREEDOM™ MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED
3. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).
4. FOR SELF-ADHERED RAPIDSEAM™ TECHNOLOGY SYSTEMS, SEE EVERGUARD® DETAIL 330 FOR LAP APPLICATION.

1 WALL CAP DETAIL

SCALE: N.T.S.

R.T.U.

GALVANIZED ROOF NAILS AT 12" (305 mm) O.C. MAX

WOOD NAILER THICKNESS OF INSULATION

INSULATED METAL CURB

ENERGYGUARD™ ROOF INSULATION

REINFORCED EVERGUARD® MEMBRANE

DRILL-TEC FASTENERS 12" O.C.

HEAT-WELDED LAP

EVERGUARD® TPO CUT EDGE SEALANT

REINFORCED EVERGUARD® MEMBRANE

ENERGYGUARD™ ROOF INSULATION

ROOF DECK/SUBSTRATE

REFERENCE EVERGUARD® PARAPET WALL & CURB FLASHING DETAILS (300 SERIES) FOR BASE TERMINATION

NOTE:

1. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
2. FOR SELF-ADHERED RAPIDSEAM™ TECHNOLOGY SYSTEMS, SEE EVERGUARD DETAIL 330 FOR LAP APPLICATION.
3. IF EVERGUARD® FREEDOM™ MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED.
4. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

4 TERMINATION @ R.T.U.

SCALE: N.T.S.

EVERGUARD® TPO COVER TAPE

METAL DRIP EDGE WITH HEMMED EDGE

EVERGUARD® TPO PRIMER

GALV. ANGULAR SHANK ROOFING NAILS 4" (102 mm) O.C. STAGGERED OR DRILL-TEC™ SCREWS 12" (305 mm) O.C.

SHEET METAL GUTTER BY OTHERS

ANGULAR ROOFING NAILS 12" (305 mm) O.C.

REINFORCED EVERGUARD® MEMBRANE (PERIMETER SHEET IF REQUIRED)

ROOF DECK/SUBSTRATE

ENERGYGUARD™ ROOF INSULATION

WOOD NAILER, 5/4" (31.8 mm) x 4" (102 mm) MIN. SECURED TO SUBSTRATE

NOTE:

1. CLEAN METAL AND MEMBRANE WITH EVERGUARD® TPO SEAM CLEANER AND ALLOW TO DRY BEFORE PRIMING.
2. EVERGUARD® TPO COVER TAPE ONLY TO BE USED WITH TPO MEMBRANE SYSTEMS
3. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICALLY FASTENED SYSTEMS ONLY.
4. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

2 COVER TAPE AT GUTTER EDGE DTL.

SCALE: N.T.S.

ROOF HATCH BY OTHERS

SOLID BACKER ROD 50% LARGER THAN OPENING

MEMBRANE MUST BE ON THREE SIDES OF HATCH OPENING

EVERGUARD® ADHESIVE (OPTIONAL)

REINFORCED EVERGUARD® MEMBRANE

DRILL-TEC PLATES & SCREWS 12" (305 mm) O.C. (6" [152 mm] O.C. FOR BALLASTED SYSTEMS)

HEAT-WELDED LAP

WALKWAY PAD REQ. AT ROOF ACCESS

ENERGYGUARD ROOF INSULATION

ROOF DECK/SUBSTRATE

NOTE:

1. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
2. IF EVERGUARD® FREEDOM™ MEMBRANE IS USED, BONDING ADHESIVE IS NOT NEEDED AND WALL MUST BE PRIMED.
3. FOR SELF-ADHERED RAPIDSEAM TECHNOLOGY SYSTEMS, SEE EVERGUARD® DETAIL 330 FOR LAP APPLICATION.
4. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

5 ROOF HATCH DETAIL

SCALE: N.T.S.

DRAIN STRAINER

DRAIN CLAMP RING

TOPCOAT® FLEXSEAL CAULK GRADE OR EVERGUARD® WATERBLOCK

REINFORCED EVERGUARD® MEMBRANE

ENERGYGUARD™ TAPERED INSULATION

ENERGYGUARD™ ROOF INSULATION

ROOF DECK/SUBSTRATE

NOTE:

1. A FIELD WELD CANNOT PASS WITHIN 9" (227 mm) OF THE CLAMPING, OR WITHIN THE DRAIN SUMP ITSELF.
2. MEMBRANE MUST EXTEND MINIMUM 1" (25.4 mm) BEYOND THE BOLT HOLES. THE CLAMPING RING BOLTS MUST PENETRATE THE MEMBRANE.
3. TAPERED INSULATION TO CREATE A ROOF SUMP MINIMUM 36" (0.914 m) x 36" (0.914 m) IN SIZE. (IF APPLICABLE)
4. USE ONE FULL TUBE OF FLEXSEAL™ CAULK GRADE SEALANT OR EVERGUARD WATER BLOCK PER DRAIN.
5. ASPHALT OR STONE PAVER MUST STOP AT DRAIN TAPER.

3 STANDARD ROOF DRAIN FLASHING DTL.

SCALE: N.T.S.

REFERENCE EVERGUARD® PARAPET WALL & CURB FLASHING DETAILS (300 SERIES) FOR WALL OR CURB TERMINATION

REINFORCED EVERGUARD® MEMBRANE

EVERGUARD® BONDING ADHESIVE (OPTIONAL)

HEAT-WELDED LAP

DRILL-TEC™ FASTENERS AND PLATES 12" (305 mm) O.C. FOR BALLASTED SYSTEMS

BACKER ROD 1-1/2 TIMES THE OPENING

EVERGUARD® MEMBRANE

HEAT-WELDED LAP

REINFORCED EVERGUARD® MEMBRANE

ENERGYGUARD™ ROOF INSULATION

ROOF DECK/SUBSTRATE

WOOD NAILER 5/4" X 4" (31.8 mm X 102 mm) MIN. SECURED TO DECK

BATT INSULATION

NOTE:

1. FOR INSULATION THICKNESS GREATER THAN 8" (203 mm), A HARD BOARD IS REQUIRED ON MECHANICAL SYSTEMS ONLY.
2. FIELD-FABRICATED EXPANSION JOINT SHOULD USE A SMOOTH BACKED MEMBRANE.
3. APPLY EVERGUARD® TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO EVERGUARD® DETAIL 115).

6 FIELD FABRICATED WALL EXPANSION. JOINT DTL.

SCALE: N.T.S.

ROOF DETAIL NOTE:

FOR ANY SPECIFIC ROOFING DETAILS NOT PROVIDED, ROOFING CONTRACTOR SHALL CONTACT ROOF MANUFACTURER