



OFFICE OF THE SHERIFF

Chad Chronister, Sheriff
Donna Luszczynski, Chief Deputy
Hillsborough County, Florida

August 11, 2021

SUBJECT: Amendment No. 2 to Bid 2021-024 *Communication Center Renovation*

MESSAGE: Please note and acknowledge the following changes or additions to be included in the referenced section(s) of Bid 2021-024:

1. Pages 4, 14, 18 and 19 will be replaced in their entirety to add what was discussed at the site visits to Part C.
2. Page 26 was added to show attachments being added as a result of the site visits. Attachments are as follows:
 - a. Attachment 1 Combined Layout Plans
 - b. Attachment 2 Ductwork Plans
 - c. Attachment 3 Combined Site visit notes.

Please note that this document hereby becomes part of Bid 2021-024 and without this document, the Bid is considered incomplete.

Sincerely,

A handwritten signature in blue ink, appearing to read "Christina R. Porter".

Christina R. Porter, CPA
Chief Financial Officer

CRP/rf

Enclosures

ACKNOWLEDGMENT OF AMENDMENT

We do hereby acknowledge the information and/or changes described in the
Amendment #2 to Bid 2021-024.

PLEASE PRINT – Company Name: _____

By: _____

Title: _____

Date: _____

Signature: _____

(Signed Acknowledgment must be included with your Bid Response)

HILLSBOROUGH COUNTY SHERIFF'S OFFICE

2008 East 8th Avenue

Tampa, Florida 33605

SUBJECT: Invitation to Bid 2021-024

BID TITLE: Communications Center Renovation

BID OPENING DATE & TIME: August 18, 2021 at 3:00 PM

PLACE: Hillsborough County Sheriff's Office
Sheriff's Operations Center
Financial Services Division - Purchasing Section
2008 East 8th Avenue
Tampa, FL 33605

Bid Overview: The purpose of this Invitation to Bid (Bid) is to describe the requirements of Chad Chronister, the Sheriff of Hillsborough County, a Constitutional Officer of the State of Florida ("Sheriff") for the Renovation of the Communications Center. Any reference to the "Work" throughout this bid packet is defined to be inclusive of the Scope of Work and any related performance detailed herein.

Any reference to the "Work" throughout this bid packet is defined to be inclusive of the Scope of Work and any related performance detailed herein.

MANDATORY PRE-BID SITE VISIT AND FACILITY TOUR – This site visit must be attended.

Pre-bid Site Visit: A mandatory pre-bid site visit has been scheduled for July 30, 2021. Please meet at the Sheriff's Operations Center at the Access Control building at 9:00 A.M. All attendees must adhere to HCSO policies and procedures while on site.

Pre-Bid Site Visit #1: July 30, 2021, 9:00 A.M. EST

PLACE: Malcolm E. Beard
Sheriff's Operations Center (SOC)
2008 East 8th Avenue
Tampa, Florida 33605

Pre-Bid Site Visit #2: August 4, 2021, 9:00 A.M. EST

PLACE: Malcolm E. Beard
Sheriff's Operations Center (SOC)
2008 East 8th Avenue
Tampa, Florida 33605

9. AWARD: Award shall be made to the most responsive Bid and responsible Bidder meeting specifications, price and other factors considered. Award may be made to more than one (1) Bidder to ensure that Work is completed in a timely manner.
- A. Award will be dependent upon the determination that the Bids are responsive, Bidders are responsible, evaluation criteria stated in the Bid document and any other evaluation criteria deemed relevant and beneficial. Bids and Bidders determined to be deficient in either responsiveness or responsibility may be rejected without further evaluation. Tabulation of the Bid prices and Bidder rankings, if applicable, will be published at the time of Award.
- B. Notification of Award will be sent to the Bidder receiving the Award. Bid results will be published on the HCSO website: <https://TeamHCSO.com/Purchasing>.
10. BID OPENING: The Bid Opening will *not* be open to the public. Bids will be received until the time and date listed herein and will be read aloud immediately thereafter at the "Place" indicated. A video recording of the Bid opening will then be posted to the HCSO website <https://TeamHCSO.com/Purchasing>.
- A. Bids must be received by the HCSO Purchasing Section no later than the time and date shown within this Bid document. Bidders mailing their Bid Packages should allow for normal mail time to ensure receipt by HCSO prior to the time and date fixed for the acceptance of the bids. Bids or unsolicited amendments to bids, received by the HCSO after the acceptance date will not be considered.
- B. The HCSO reserves the right to postpone the date for receipt and opening of bids or other deadlines and will make a reasonable effort to give at least five (5) calendar days' notice of any such postponement to each prospective Bidder.
- C. It is understood and agreed upon by the Bidder in submitting a Bid Package that the HCSO has the right to withhold all information regarding this procurement until after contract award, including but not limited to: the number of Bids received; competitive technical information; competitive price information; and the HCSO evaluation concerns about competing Bids. Information released after award is subject to the disclosure requirements of the Chapter 119, *Fla. Stat.* Bidders are enjoined from discussing or disclosing the content of any Bid with competing Bidders during the evaluation and negotiation process.
11. ACCEPTANCE AND REJECTION: The HCSO reserves the right to reject any or all Bids, for cause, to waive irregularities, if any, and to accept the Bid (or Bids) which, in the judgment of the Sheriff, are in the best interest of the HCSO. The HCSO reserves the right to evaluate, add, and/or reject any items from any Bid options or resulting contract(s) when deemed to be in the best interest of the HCSO.
12. CONTRACT PERIOD: The Contract shall be effective from the date of award until December 31, 2021. All efforts shall be made to complete the project by October 22, 2021. The start date is for commencement of work is immediately after award of the contract.

PART C - SPECIFICATIONS

1. **IN GENERAL:** The purpose of this Invitation to Bid (Bid) is to describe the requirements of Chad Chronister, the Sheriff of Hillsborough County, a Constitutional Officer of the State of Florida ("Sheriff") for the Renovation of the Communications Center. The renovations are in order to maximize the usable space within the communications center and to allow personnel to properly socially distance. Work includes, but is not limited to, general construction, electrical, demolition, painting, etc. Work also includes all labor, materials, equipment and supervision to perform the required electrical and/or mechanical construction work on this project.
2. **SPECIFICATIONS AND SCOPE OF WORK:** Combine two office spaces into one larger space, take down the long wall on one side and raise the existing ceiling approximately 10 inches to accommodate a 10 inch raised flooring system. Specific tasks include, but may not be limited to:
 - a. Interior renovation for combining two offices into one larger room +/- 400 SF.
 - i. Demolition of wall on the long side of combined rooms as well as the wall currently separating the two rooms.
 - ii. Demolished walls shall be removed down to concrete floor.
 - iii. Dispose of all interior window frames and glass.
 - iv. Segment of wall behind existing fire panel shall remain and wall end shall be drywall finished.
 - v. Removed north wall will need header to accommodate different ceiling heights.
 - vi. Data boxes and cables to remain in place except at demolished walls wherein boxes have been removed and wiring left in place on concrete slab.
 - b. Removal and reinstallation of the existing base cabinets to newly created room.
 - i. The cabinet will cover most of the outlets on the window side, provide cut-outs in the cabinet back as necessary to access data boxes.
 - ii. The cabinet shall be relocated after flooring/carpet installation is completed by another vendor.
 - c. Remove and install a new ceiling approximately 10 inches higher than existing height and extending the drywall on remaining three sides of the room.
 - i. Raise the ceiling to the underside of the ductwork allowing space to insert ceiling tiles – supply ducts must be relocated to side of duct trunk, see Attachment 2.
 - ii. Drywall extends 12" above existing ceiling location; only extend drywall at locations that it might be necessary.
 - iii. Provide all new A/C supply diffusers and Return Air Grilles.
 - iv. A/C supply registers may need to be added to accommodate the same air flow at the existing duct drops being removed, recommended round or oval flex.
 - v. Hard pipe for smoke/fire line needs to be raised so that it is at least to the bottom of the existing A/C duct work level.
 - vi. Large overhead roof drain line to remain. A portion of the pipe will extend below the new ceiling level, therefore that area will be boxed in with ceiling grid and tile.
 - vii. Ceiling mounted speakers shall be removed and discarded.

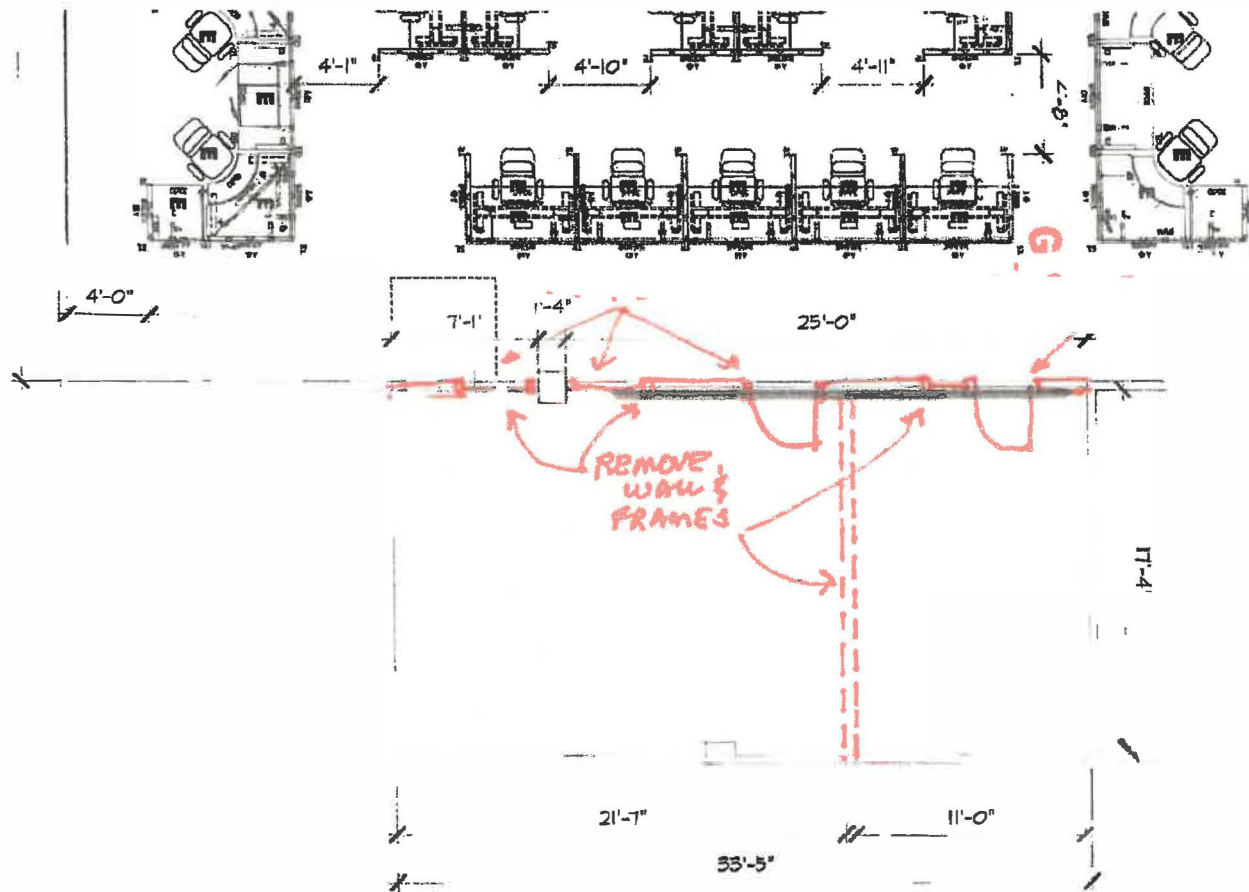
- d. Relocate electrical as necessary.
 - i. All Outlets to remain on walls NOT being demolished.
 - ii. Disconnect all outlets that are in walls being removed.
 - iii. Removed outlets and wiring shall be removed back to the junction box.
 - iv. Wall clock, in-wall vacuum system, fire strobe and thermostat to be relocated by HCSO Staff.
- e. Paint the three (3) remaining walls to a color that will be selected by the Owner.
- f. Installing new LED lighting.
 - i. New lighting shall be e-conolight C-TR-A-BT22_33L-50K-WH-4 (LED 2X2 Trfr, 3300L, 5000K, 120-277V, 0-10V Dimming, White, Damp Location, DLC Premium).
 - ii. New round fixtures shall be Lithonia Lighting Model: WF6 LED 50K MVOLT MW M6 120-277V 60Hz 0.09A 10.5W 0-10 Dimmer.
 - iii. Lights shall be installed in accordance with the reflected ceiling plan contained in Attachment 1, Combined layout plans.
- g. Contractor to provide Dumpsters and port-a-johns as needed.
- h. All HCSO communications personnel will be relocated and absent during construction period.
- i. Provide temporary barriers as needed to isolate the rest of the room and equipment from dust and debris.
- j. Remove only as many floor plates and carpet as is absolutely necessary to perform your work. Protect the exposed sticky floor panels so they do not become saturated with construction dust and debris.
- k. Structural integrity of the building to remain.

The work for the raised floor system and the installation of new carpet and vinyl base will be performed by other vendors. A more in depth explanation will be given at the Mandatory Pre-Bid Meeting.

- 3. HIDDEN DAMAGES: When hidden conditions or damage are discovered after the commencement of Work, the Vendor must notify Al Cordova, the Project manager, as to the nature and extent of the hidden conditions or damage and provide a written estimate of additional repairs needed. No additional Work shall commence until approved by the Project manager or his designee
- 4. FINAL INSPECTION AND ACCEPTANCE: Final inspection and acceptance of all items specified for delivery under this contract shall be accomplished by the Facilities Supervisor or his duly authorized representative.
- 5. PROJECT SCHEDULE: The Bidder shall provide as part of their Bid Response an estimated project schedule for this project.

LISTING OF ATTACHMENTS

- | | | | |
|----|----------------|-----|----------------------------|
| 1. | Attachment "1" | PDF | Combined Layout Plans |
| 2. | Attachment "2" | PDF | Ductwork Plans |
| 3. | Attachment "3" | PDF | Combined Site visit notes. |



DEMOLITION FLOOR PLAN



5805 BARRY ROAD
TAMPA, FLORIDA 33634
TELEPHONE 813.886.0580
FAX 813.884.6200
WEBSITE WWW.CDSTAMP.COM
FL LIC # 1926000948

HCSO
YBOR CITY
NEW & REUSED ITEMS

ORIGINAL ISSUE DATE
15 APRIL 2021

PROJECT #: 220-152102

DRAWN BY: RWC

CHECKED BY: JME

REVISIONS

REV. DATE DESCRIPTION

SCALE: 1/8"=1'-0"

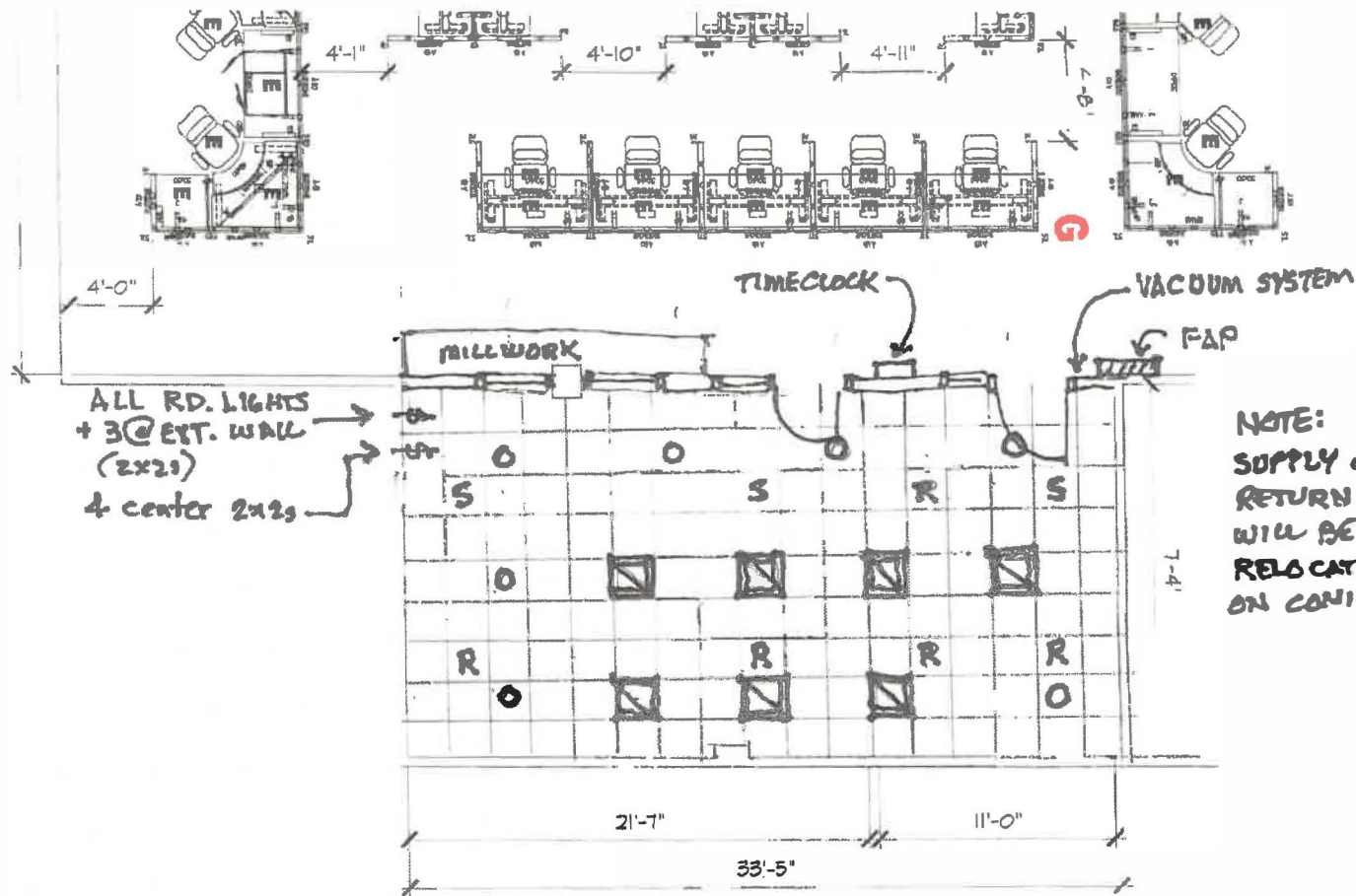
SECOND FLOOR

PRELIMINARY
SPACE
PLAN

SHEET NUMBER

1 OF 1

THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF COMMERCIAL DESIGN SERVICES, INC. ANY UNAUTHORIZED REPRODUCTION AND/OR REUSE WILL RESULT IN PROSECUTION UNDER APPROPRIATE COPYRIGHT AND PATENT LAWS. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE CONNECTION TO POWER SOURCE BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES.



NEW REFLECTED CEILING PLAN



COMMERCIAL DESIGN SERVICES, INC.
5805 BARRY ROAD
TAMPA, FLORIDA 33634
TELEPHONE 813.886.0580
FAX 813.884.6200
WEBSITE WWW.CDSTAMPACOM
FL UC # 1826000948

HCSO
YBOR CITY
NEW & REUSED ITEMS

ORIGINAL ISSUE DATE:
15 APRIL 2021

PROJECT #: 220-152102

DRAWN BY: RWC

CHECKED BY: JNE

REVISIONS

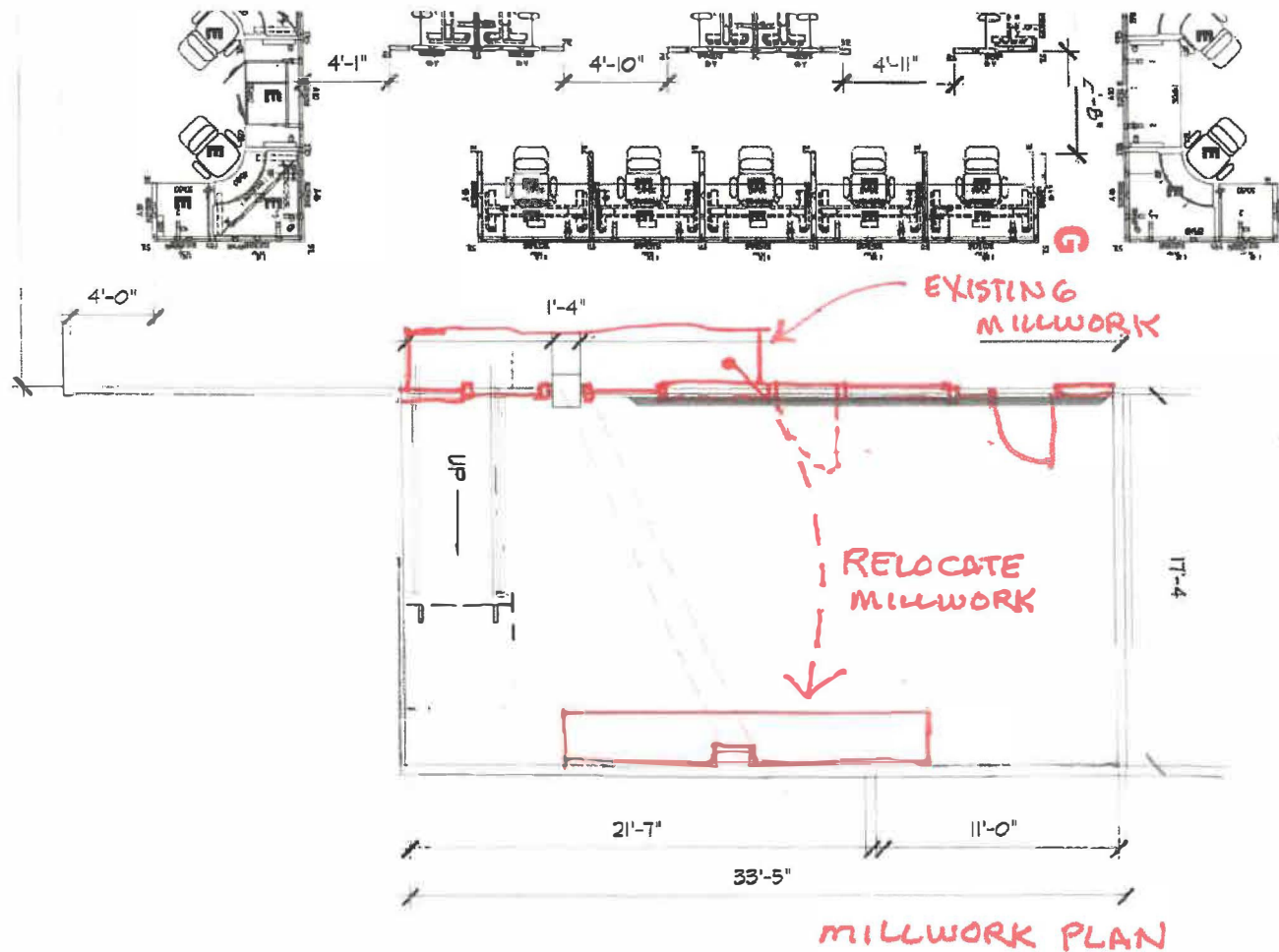
REV. DATE DESCRIPTION

SCALE: 1/8"=1'-0"

SECOND FLOOR

PRELIMINARY
SPACE
PLAN
SHEET NUMBER

1 OF 1



5805 BARRY ROAD
TAMPA, FLORIDA 33634
TELEPHONE 813.886.0580
FAX 813.884.6300
WEBSITE WWW.CDSTAMPACOM
FL LIC # 182600948

**HCSO
YBOR CITY**
NEW & REUSED ITEMS

ORIGINAL ISSUE DATE
15 APRIL 2021

PROJECT #: 220-152102

DRAWN BY: RWC

CHECKED BY: JNE

REVISIONS

REV.	DATE	DESCRIPTION

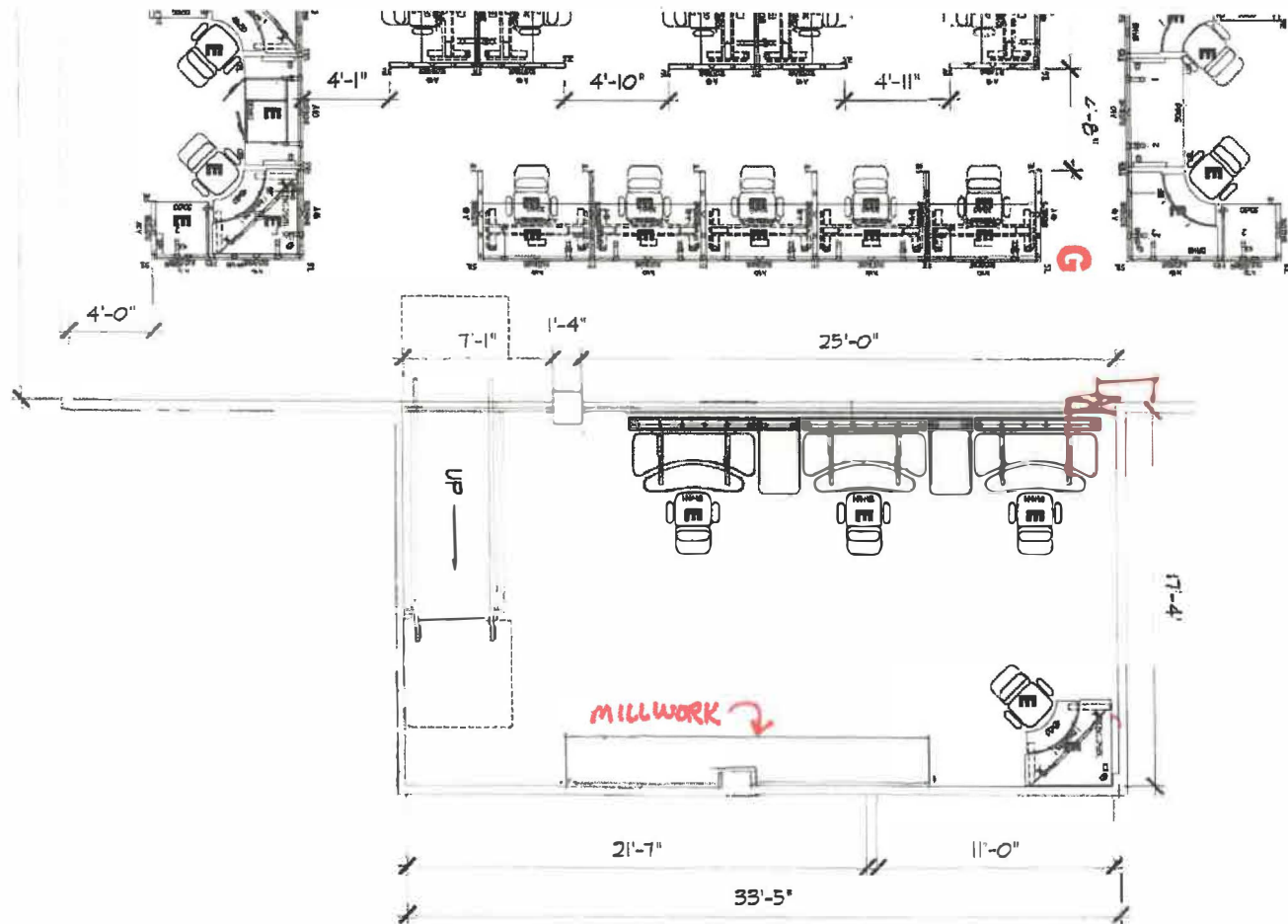
SCALE: 1/8"=1'-0"

SECOND FLOOR

PRELIMINARY
SPACE
PLAN
SHEET NUMBER

1 OF 1

THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF COMMERCIAL DESIGN SERVICES, INC. ANY UNAUTHORIZED REPRODUCTION AND/OR REUSE WILL RESULT IN PROSECUTION UNDER APPROPRIATE COPYRIGHT AND PATENT LAWS. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE CONNECTION TO POWER SOURCE BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES.



FURNITURE PLAN



5805 BARRY ROAD
TAMPA, FLORIDA 33634
TELEPHONE 813.884.0580
FAX 813.884.6200
WEBSITE WWW.CDSTAMPACOM
FL LIC # 1826000948

**HCSO
YBOR CITY**
NEW & REUSED ITEMS

ORIGINAL ISSUE DATE:
15 APRIL 2021

PROJECT #: 220-152102

DRAWN BY: RWC

CHECKED BY: JNE

REVISIONS

REV.	DATE	DESCRIPTION

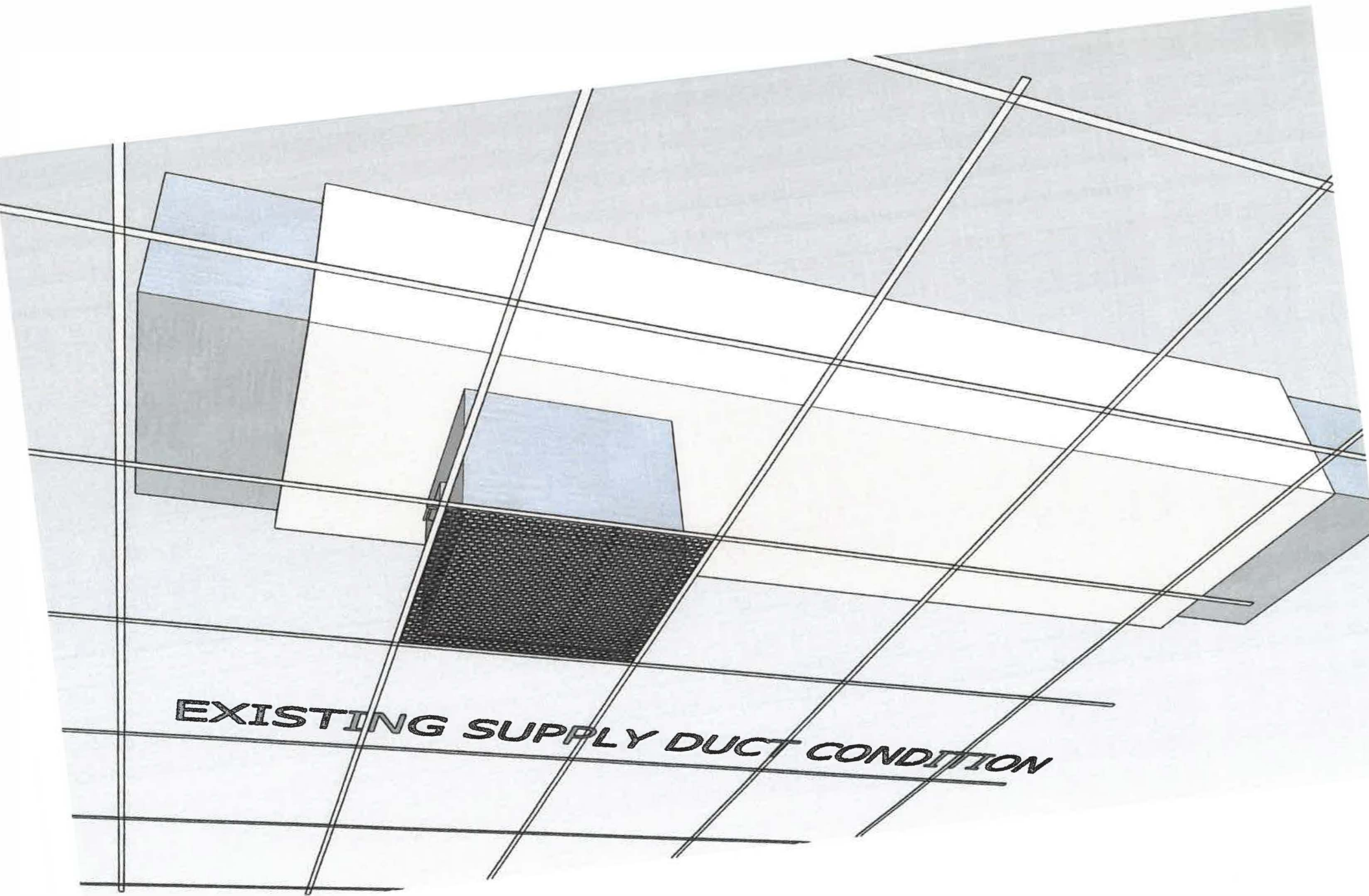
SCALE: 1/8"=1'-0"

SECOND FLOOR

PRELIMINARY
SPACE
PLAN
SHEET NUMBER

1 OF 1

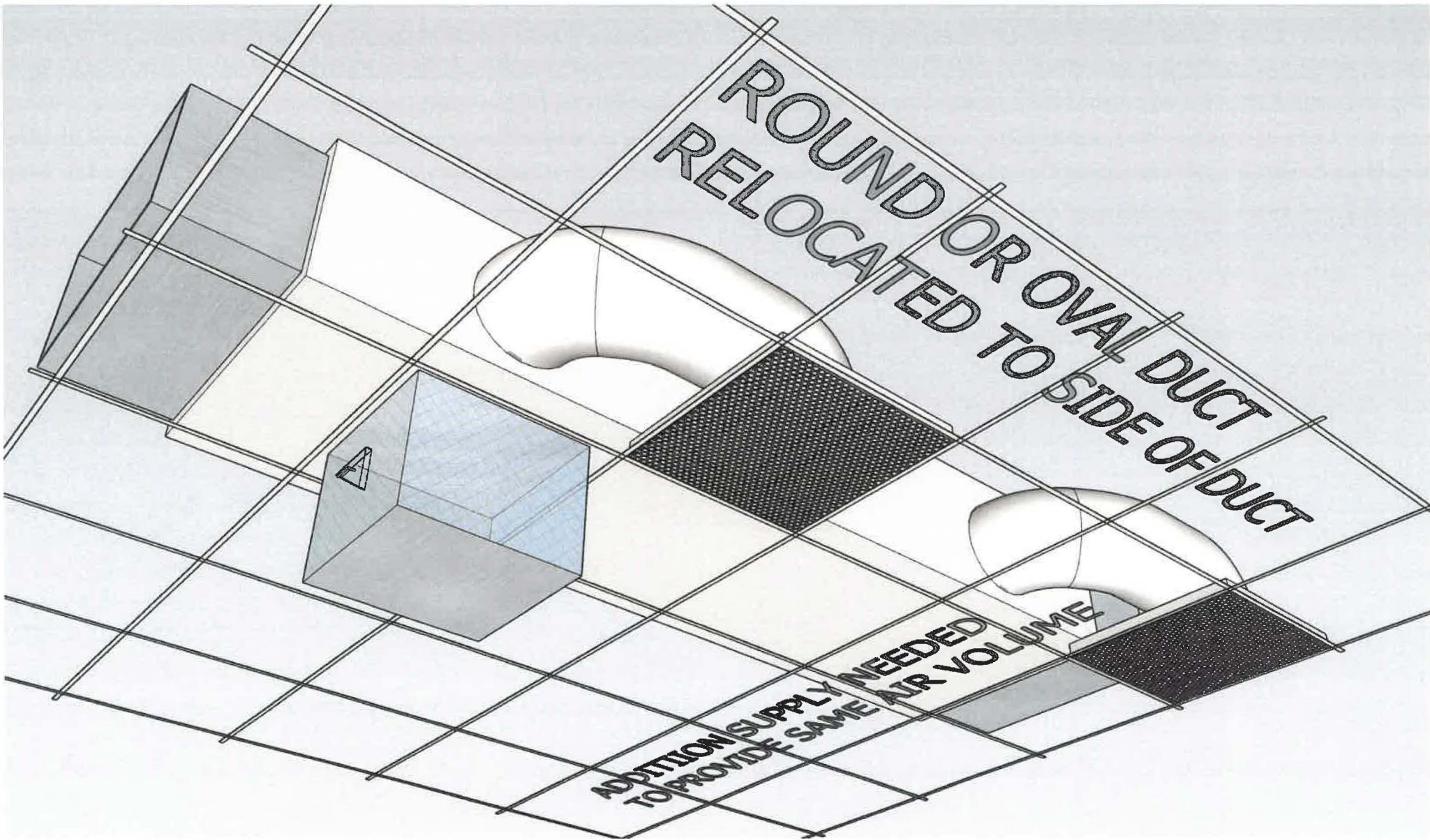
THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF COMMERCIAL DESIGN SERVICES, INC. ANY UNAUTHORIZED REPRODUCTION AND/OR REUSE WILL RESULT IN PROSECUTION UNDER APPROPRIATE COPYRIGHT AND PATENT LAWS. IT IS THE RESPONSIBILITY OF THE CLIENT TO PROVIDE CONNECTION TO POWER SOURCE BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH ALL NATIONAL AND LOCAL CODES.



EXISTING SUPPLY DUCT CONDITION

ROUND OR OVAL DUCT
RELOCATED TO SIDE OF DUCT

ADDITION SUPPLY NEEDED
TO PROVIDE SAME AIR VOLUME



Combined site visit notes.

1st Site visit, July 30 2021

Contractor to provide Dumpsters and port-a-johns as needed.

Plans provided to all companies in attendance

Dispose of all interior window frames/glass

Raise Ceiling to underside of ductwork allowing space to insert ceiling tiles – supply ducts must be relocated to side of duct trunk

Drywall extends 12" above existing ceiling location; only Extend drywall only at locations that it might be necessary

New lighting shall be e-conolight C-TR-A-BT22_33L-50K-WH-4 (LED 2X2 Trfr, 3300L, 5000K, 120-277V, 0-10V Dimming, White, Damp Location, DLC Premium)

New round fixtures shall be Lithonia Lighting Model: WF6 LED 50K MVOLT MW M6 120-277V 60Hz 0.09A 10.5W 0-10 Dimmer

Cabinet shall be relocated after flooring/carpet installation is completed

All Outlets to remain on walls NOT being demolished

Thermostat & Fire Alarm Strobe will be relocated by owner

Existing in-wall vacuum system will be relocated by owner. Existing wall time clock will be relocated by owner

Removed outlets and wiring shall be removed back to the junction box

Ductwork modification will be necessary and discussed at 2nd Pre-Bid meeting

Provide all new A/C supply diffusers and Return Air Grilles

Ceiling mounted speakers shall be removed and discarded

Data boxes & cables to remain in place except at demolished walls wherein boxes removed and wiring left in place on conc. slab

10-12 junction boxes under the current raised floor all on Generator/Ups. Under floor Data is not in conduit, it is loose laid

Cabinet will cover most outlets on window side, provide cut-outs in cabinet back as necessary to access data boxes

Demolished walls shall be removed down to concrete floor

Segment of wall behind existing fire panel shall remain and wall end shall be drywall finished

All personnel will be relocated and absent during construction period.

Provide temporary barriers as needed to isolate the rest of the room/equipment from dust/debris

Structural integrity of the building to remain

Raised Floor panels are 2'x2' with support posts on every corner

Paint 3 remaining walls, color to match or be selected by Owner.

Removed North wall will need header to accommodate different ceiling heights

Placement of lights shall be per distributed Reflected Ceiling Plan hand out

Start date is ASAP after contract award

Request was made to provide an estimated project duration.

V – Is there a service elevator on that side of the building?

NO, adjacent hallway and rear stairs used to attend meeting shall be utilized

V – Access procedures for awarded vendor?

Workers will be escorted in.

V – Hours available for Con Work? 7 AM- 4 PM M-F only or are weekends allowed as well?

Weekend work allowed with a 48 hr. prior notice

2nd Site visit, July 30 2021

A/C supply registers may need to be added to accommodate the same air flow at the existing duct drops being removed, AL recommends round or oval flex.

Notes from last visit and new revised reflected ceiling plan was distributed showing 2x2 instead of 2x4 lights and round LED light fixtures. New lighting shall be e-conolight C-TR-A-BT22_33L-50K-WH-4 (LED 2X2 Trfr, 3300L, 5000K, 120-277V, 0-10V Dimming, White, Damp Location, DLC Premium)

New round fixtures shall be Lithonia Lighting Model: WF6 LED 50K MVOLT MW M6 120-277V 60Hz 0.09A 10.5W 0-10 Dimmer

Hard pipe for smoke/fire line needs to be raised so that it is at least to the bottom of the existing a/c duct work level

Disconnect all outlets that are in walls being removed.

Wall clock, in-wall vacuum system, fire strobe and thermostat to be relocated by HCSO Staff.

Remove only as many floor plates & carpet as is absolutely necessary to perform your work. Protect the exposed sticky floor panels so they do not become saturated with construction dust & debris.

Ceiling speakers can be discarded.

Large overhead roof drain line to remain. A portion of the pipe will extend below the new ceiling level, therefore that area will be boxed in with ceiling grid & tile.

V – Will outlets be required in floor for furniture?

AL – No, furniture vendor will provide electrical whip connections to furniture.

V- Discovered vent stack near the North intersection of the 2 walls scheduled for demolition.

AL - This vent stack needs to be re-routed under & through raised floor horizontally; then up the remaining portion of the wall next to the door frame being removed and then reconnected overhead in the soffit area back to upper portion of vent stack.

V- Question about ADA ramp.

AL – ADA Ramp is not part of this scope of work; the ramp will be in the Flooring Vender's scope of work.

V – Will edge protection be required at new soffit area.

AL - Soffit should be around 8'-2" in height which should not pose any problem with bumping it. No edge protection needs to be provided.